

Town of Granby

**Community Development Department
15 North Granby Road
Granby, CT 06035**

Sale of Town Property

83 Salmon Brook Street

And/or

603 Cider Lane

Offers Due by October 3, 2025

Prepared by:

**Town of Granby
Community Development Department
15 North Granby Road
Granby, CT 06035**

Public Notice
Town of Granby Property For Sale

The following town-owned properties are for sale: 83 Salmon Brook Street and 603 Cider Lane. The starting bid for 83 Salmon Brook Street is \$225,000.00 and the starting bid for 603 Cider Lane is \$55,500.00. All offers are due by 12 PM on October 3, 2025. Offers must be presented in sealed envelopes clearly marked “Sale of Town Property” and must be mailed to:

Granby Town Hall
Attn: Town Manager
15 North Granby Road
Granby, CT 06035

Offers should include the dollar amount being offered and the intended use for the property. The Town, at its sole discretion, reserves the right to negotiate the price, terms and conditions of any offers. The Town at its sole discretion, reserves the right to accept or reject any and all offers.

I. Intent

The Town of Granby (the “Town”) is seeking to sell two town-owned properties, 83 Salmon Brook Street and 603 Cider Lane. Offers are due October 3, 2025 by 12 PM. Respondents may submit offers for one or both properties. Please refer to the property descriptions on the following pages.

II. Questions / Site Visit

Any questions regarding these properties shall be submitted by email to Abby Kenyon, Director of Community Development, akenyon@granby-ct.gov by September 22, 2025 at 4 PM. Responses to questions will be posted on the Town website by September 24, 2025. Submitters are responsible for checking the Town website. If submitting a question, please clearly indicate the property it pertains to.

If a submitter would like to arrange access to 83 Salmon Brook Street, submit a request by email to akenyon@granby-ct.gov.

III. Process

All respondents shall submit one (1) original offer to Granby Town Hall, Attn: Town Manager, 15 North Granby Road, Granby, CT 06035. Offers are due by 12 PM on October 3, 2025. Offers shall be in a sealed envelope clearly marked “Sale of Town Property”. The offer must include the following information:

Submitter Name: _____

Mailing Address: _____

Email Address: _____

Phone Number: _____

Property (indicate one or both): 83 Salmon Brook Street or 603 Cider Lane

Proposed Purchase Price (if making an offer on both properties, clearly note next to each price the property it refers to): \$ _____

Proposed Use of the Property: _____

Note:

83 Salmon Brook Street starting bid: \$225,000. A deed restriction may be applied to this property to prevent a future drive-through.

603 Cider Lane starting bid: \$55,500

Offers will be reviewed by the Town. The Town reserves the right to request clarification or additional information from a respondent if necessary.

It is anticipated that the successful submitter will be contacted within two weeks of the submission deadline for further discussion.

The sale must follow all State and Local regulations and ordinances.

83 Salmon Brook Street

I. Property Background

The property, 83 Salmon Brook Street, is 1.5 acres. There is one structure located on the property which was built in 1905 with an addition constructed in 2014. The total living area is about 1,900 square feet with an additional 684 square feet in the unfinished basement. There is a paved parking lot with about 20 defined spaces and a gravel area that can accommodate approximately ten additional vehicles. This parking lot was constructed by the developer of the apartment development located to the west of this property and deeded to the Town in exchange for access and utility easements to their project. A portion of the adjacent property's stormwater detention basin is located on the property. Please refer to the attached site plan for improvements and easement locations.

The property is in the T1 Neighborhood and Commercial Transition Zone. There is an apartment development to the west, the YMCA to the north, a single-family use to the south, and a nursery operation, which is expected to be developed into a solar facility pending Siting Council approval, to the east. The property abuts Salmon Brook Street and is near the Farmington Canal Heritage Trail. Public utilities (gas, sewer, and water) are available.

The property was purchased by the Town in 2011 and since its purchase, it has been leased and used for the operation of a restaurant. The most recent lease expired in December 2023 and the property has been vacant since then.

A Phase 1 Environmental and a Hazardous Materials Assessment has not been completed by the Town. It is anticipated the site will be conveyed in as "as-is", "where-is" and "with all faults" condition.

Land use approvals for this site have not been obtained. The successful purchaser will be responsible for securing all land use approvals to develop the property and all other necessary municipal and state permits.

Prospective purchasers should undertake an independent review and analysis concerning physical conditions, environmental conditions, zoning, financing, and other development and legal considerations.

The Town may restrict the property from having a drive-through.

II. Building and Site Photos

























III. Location Map



IV. Property Card

603 CIDER LN

Location 603 CIDER LN

Mblu D-30/ 23/ 603/ /

Acct# 16200603

Owner GRANBY TOWN OF

Assessment \$38,080

Appraisal \$54,400

PID 102860

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2022	\$0	\$54,400	\$54,400
Assessment			
Valuation Year	Improvements	Land	Total
2022	\$0	\$38,080	\$38,080

Owner of Record

Owner GRANBY TOWN OF

Sale Price \$0

Co-Owner

Certificate

Address 15 NORTH GRANBY RD
GRANBY, CT 06035

Book & Page 0352/0566

Sale Date 05/13/2008

Instrument

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
GRANBY TOWN OF	\$0		0352/0566		05/13/2008
TFHB LLC	\$1,000,000		0251/0050	6	06/20/2001

Building Information

Building 1 : Section 1

Year Built:

Living Area: 0

Replacement Cost: \$0

Building Percent Good:

Replacement Cost

Less Depreciation: \$0

Building Attributes	
Field	Description
Style:	Vacant Land
Model	
Grade:	
Stories:	
Occupancy	
Exterior Wall 1	
Exterior Wall 2	
Roof Structure:	
Roof Cover	
Interior Wall 1	
Interior Wall 2	
Interior Flr 1	
Interior Flr 2	
Heat Fuel	
Heat Type:	
AC Type:	
Total Bedrooms:	
Total Bthrms:	
Total Half Baths:	
Total Xtra Fixtrs:	
Total Rooms:	
Bath Style:	
Kitchen Style:	
Extra Kitchens	
Solar Panels	
Num Park	
Fireplaces	
Fndtn Cndtn	
Basement	

Extra Features

Extra Features		<u>Legend</u>
No Data for Extra Features		

Land

Land Use

Use Code 903V

Land Line Valuation

Size (Acres) 1.85

Building Photo



(<https://images.vgsi.com/photos2/GranbyCTPhotos//default.jpg>)

Building Layout

(<ParcelSketch.ashx?pid=102860&bid=102814>)

Building Sub-Areas (sq ft)	<u>Legend</u>
No Data for Building Sub-Areas	

Description MUNICIPAL M00

Zone FRD

Neighborhood 425

Alt Land Appr No

Category

Frontage

Depth

Assessed Value \$38,080

Appraised Value \$54,400

Outbuildings

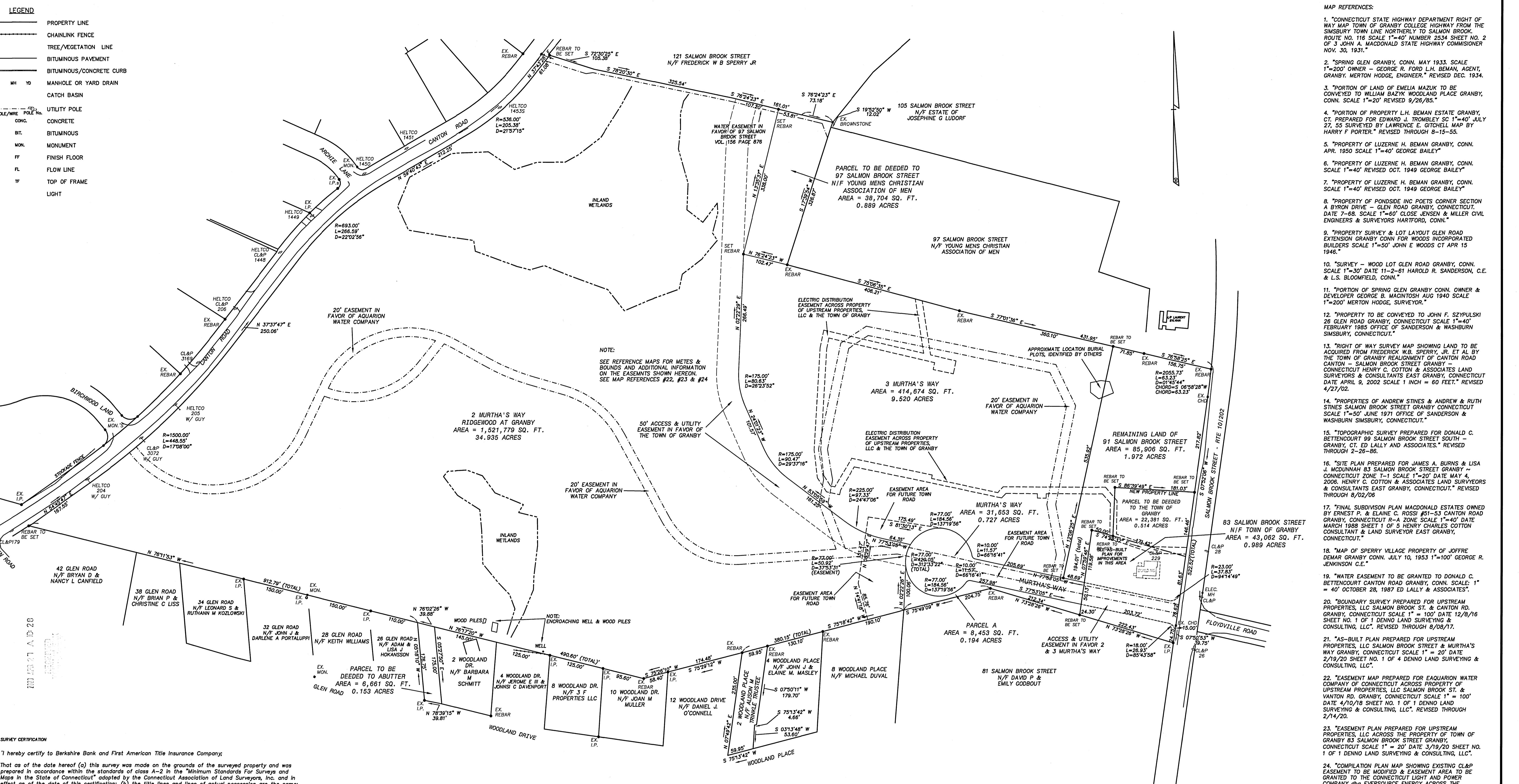
Outbuildings	<u>Legend</u>
No Data for Outbuildings	

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2024	\$0	\$54,400	\$54,400
2023	\$0	\$54,400	\$54,400
2022	\$0	\$54,400	\$54,400

Assessment			
Valuation Year	Improvements	Land	Total
2024	\$0	\$38,080	\$38,080
2023	\$0	\$38,080	\$38,080
2022	\$0	\$38,080	\$38,080

V. Property Maps / As-Built



Map #2938 1 of 3
Received for record 10:28am
April 11, 2020
CANTON ROAD

2020
CANTON ROAD

SURVEY CERTIFICATION

I hereby certify to Berkshire Bank and First American Title Insurance Company,

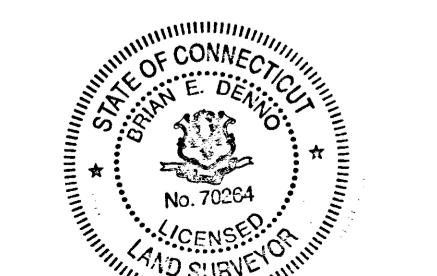
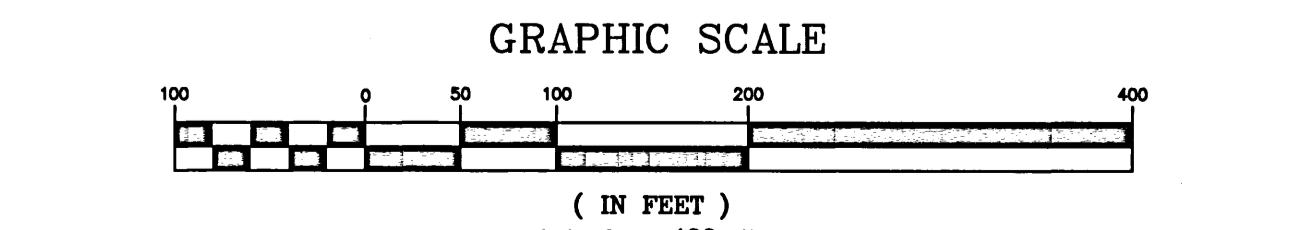
That as of the date hereof (a) this survey was made on the grounds of the surveyed property and was prepared in accordance with the standards of class A-2 in the "Minimum Standards For Surveys and Boundary Surveys of Connecticut" adopted by the Connecticut Association of Land Surveyors, Inc. and in effect as of the date of this certification; (b) the title lines and lines of mutual possession are as shown; (c) all buildings and improvements are located as shown; are erected entirely within the property lines, and do not encroach over or upon street, title or building lines, wetland boundaries or any right of way or easement or appurtenant to the property, except as shown hereon; (d) there are no utility or other easements or rights of way affecting this property other than those shown hereon; (e) there are no mapped or un-mapped wetlands or coastal areas on this property; (f) there are no mapped or un-mapped areas or easements appurtenant to the same by buildings or improvements erected on adjacent lands, except as shown hereon; (g) no portion of the property is located in a HUD Special Flood Hazard Zone or within the bounds of mapped inland or coastal wetland areas other than as shown hereon; and (h) the buildings and improvements on this property do not violate any building or zoning regulation, relating to the location and extent thereof."

Brian Denno L.S. 70264
4/1/20
BRIAN DENNO L.S. 70264 DATE

UTILITY STATEMENT

UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS ARE CONSIDERED AS APPROXIMATE IN NATURE, ADDITIONALLY, OTHER SUCH FEATURES AS FENCE, OR OTHER SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THIS SURVEYOR. THE SIZE, LOCATION AND EXISTENCE OF THESE FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

ORIGINAL INK ON
MYLAR BY
DENNO LAND
SURVEYING



REVISIONS:
3/19/20 - PARCEL TO TOWN & EASEMENTS
TO MY KNOWLEDGE AND BELIEF THIS MAP IS
SUBSTANTIALLY CORRECT AS NOTED HEREON.
NOT VALID UNLESS LIVE SIGNATURE AND EMBOSSED SEAL IS AFFIXED.
DENNO LAND SURVEYING & CONSULTING, LLC
2 TUNXIS RD STE. 203 TARIFFVILLE, CT 06081

PARCEL MAP
PREPARED FOR
UPSTREAM PROPERTIES, LLC
SALMON BROOK ST. & CANTON RD.
GRANBY, CONNECTICUT
SCALE 1"=100'
DATE 3/21/18
SHEET NO.
1 OF 1

DRAWING NUMBER
2938-1

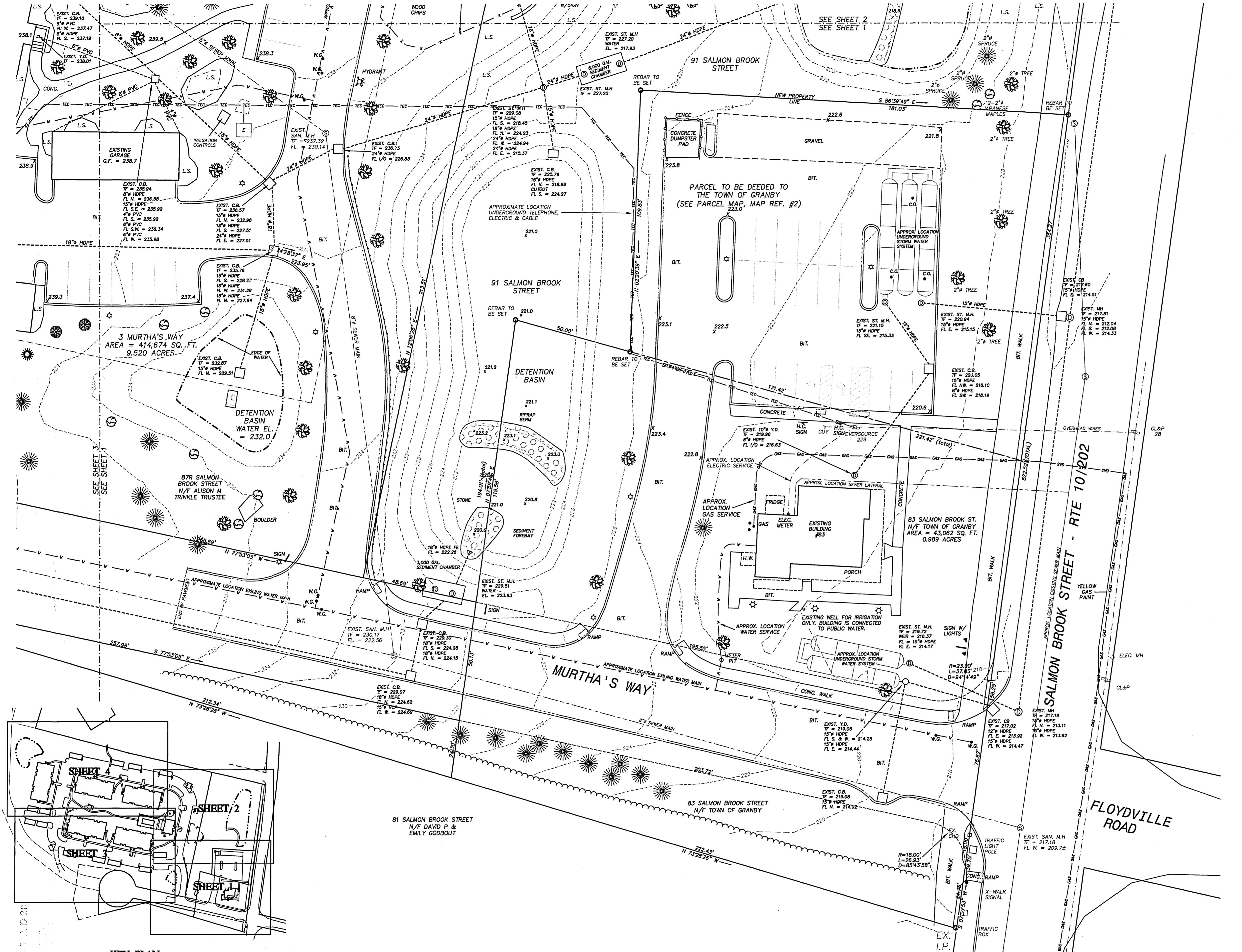
DRAWING NUMBER
✓ 69

DRAWING NUMBER
SACO PRODUCTS • NEW HAVEN, CONNECTICUT
RECORDED BY PART NUMBER 6522

DRAWING NUMBER
✓ 69

DRAWING NUMBER
SACO PRODUCTS • NEW HAVEN, CONNECTICUT
RECORDED BY PART NUMBER 6522

DRAWING NUMBER
SACO PRODUCTS • NEW HAVEN, CONNECTICUT
RECORDED BY PART NUMBER 6522



UTILITY STATEMENT
UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, RECORDS, RECORDS FROM PARTIES TESTIMONY AND OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE, ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THIS SURVEYOR. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND NOTED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

ORIGINAL INK ON
MYLAR BY
DENNO LAND
SURVEYING

GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

DRAWING NUMBER	
x 485.20	SPOT GRADE
□ CB	CATCH BASIN
ST MH	STORM MANHOLE
▷ FE	FLARED END
HYDRANT	HYDRANT
● GV	GATE VALVE
● WS	WATER SERVICE SHUT-OFF/STAKE
□ E	ELECTRICAL TRANSFORMER
○ E	3" ELECTRICAL SILO
□ E	ELECTRICAL BOX
□ T	TELEPHONE BOX
○ T	TELEPHONE HANDHOLE
□ C	CABLE TELEVISION BOX
○ C	CABLE TELEVISION DOME
● C	CONDUIT
□ F	FIBER OPTICS BOX
★ O	LIGHT
EXISTING CONTOUR	EXISTING CONTOUR
WAVE	WAVE
PROPERTY LINE	PROPERTY LINE
BITUMINOUS PAVEMENT	BITUMINOUS PAVEMENT
BITUMINOUS CURB	BITUMINOUS CURB
MH YD	MANHOLE OR YARD DRAIN
CONC.	CONCRETE
BIT.	BITUMINOUS
MON.	MONUMENT
FF	FINISH FLOOR
FL	FLOW LINE
EVERGREEN TREE	EVERGREEN TREE
BIRCH CLUMP	BIRCH CLUMP
2" TREE	2" TREE

MAP REFERENCES:

1. "BOUNDARY SURVEY PREPARED FOR UPSTREAM PROPERTIES, LLC SALMON BROOK ST. & CANTON RD. GRANBY, CONNECTICUT SCALE 1" = 100' DATE 12/8/16 SHEET NO. 1 OF 1 DENNO LAND SURVEYING & CONSULTING, LLC. REVISED THROUGH 2/19/20.

2. "PARCEL MAP PREPARED FOR UPSTREAM PROPERTIES, LLC SALMON BROOK ST. & CANTON RD. GRANBY, CONNECTICUT SCALE 1" = 100' DATE 3/21/18 SHEET NO. 1 OF 1 DENNO LAND SURVEYING & CONSULTING, LLC. REVISED THROUGH 2/19/20.

3. "EASEMENT MAP PREPARED FOR AQUARIUM WATER COMPANY OF CONNECTICUT ACROSS PROPERTY OF UPSTREAM PROPERTIES, LLC SALMON BROOK ST. & CANTON RD. GRANBY, CONNECTICUT SCALE 1" = 100' DATE 4/10/16 SHEET NO. 1 OF 1 DENNO LAND SURVEYING & CONSULTING, LLC. REVISED THROUGH 2/19/20 - PER WATER COMPANY.

4. "COMPLIATION PLAN MAP SHOWING EXISTING CL&P EASEMENT TO BE MODIFIED & EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY, dba EVERSOURCE ENERGY ACROSS THE PROPERTY OF UPSTREAM PROPERTIES, LLC, TOWN OF GRANBY & YOUNG MENA CHRISTIAN ASSOCIATION OF MEN, SALMON BROOK STREET & RTE. 10/202 GRANBY, CONNECTICUT FILE NO. E8053 SCALE 1" = 50' DATE 7/17/18 SHEET NO. 1 OF 1 DENNO LAND SURVEYING & CONSULTING, LLC. REVISED THROUGH 7/30/18 - PER EVERSOURCE.

SURVEY NOTES:

THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1998.

THE TYPE OF SURVEY PERFORMED IS AN IMPROVEMENT LOCATION SURVEY.

BOUNDARY DETERMINATION CATEGORY A DEPENDENT RESURVEY.

THIS PLAN CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.

HORIZONTAL DATUM IS BASED ON NAD 83.

WETLANDS IDENTIFIED IN THE FIELD BY MLONE & MACBROOM AND LOCATED BY DENNO LAND SURVEYING. PROPERTY IS SUBJECT TO UTILITY EASEMENTS, EASEMENTS NOT SHOWN FOR CLARITY. SEE REFERENCE MAPS FOR EASEMENT DATA.

REVISIONS:
4/17/20 - PER DESIGN ENGINEER

TO MY KNOWLEDGE AND BELIEF THIS MAP IS
SUBSTANTIALLY CORRECT AS NOTED HEREON.
NOT VALID UNLESS LIVE SIGNATURE AND EMBOSSED SEAL IS AFFIXED
DENNO LAND SURVEYING & CONSULTING, LLC
2 TUNXIS RD STE. 214 TARIFFVILLE, CT 06081

AS-BUILT PLAN
PREPARED FOR
UPSTREAM PROPERTIES, LLC
SALMON BROOK STREET & MURTHA'S WAY
GRANBY, CONNECTICUT

SCALE
1"=20'
DATE
4/11/20
SHEET NO.
1 OF 4

DRAWING NUMBER
2938-3

DRAWING NUMBER
SACO PRODUCTS • NEW HAVEN, CONNECTICUT
RECEIVED BY PART NUMBER SHEET NO. 1 OF 4
FEBRUARY 19, 2020

DRAWING NUMBER
V1 69

SACO PRODUCTS • NEW HAVEN, CONNECTICUT
RECEIVED BY PART NUMBER SHEET NO. 1 OF 4
FEBRUARY 19, 2020

VI. T1 Zoning Regulations

3.10 NEIGHBORHOOD AND COMMERCIAL TRANSITION ZONE – T1

3.10.0 Goal of the T1 Zone

The T1 zone is adopted in an effort to avoid the development of small commercial establishments along Route 10, through the elimination of an existing commercial strip zone. The T1 zone encourages comprehensive development and the cooperation of individual landowners. A primary goal of the zone is to avoid the establishment of commercial curb cuts along Route 10, while requiring that new commercial buildings be placed at least 100 feet back from Salmon Brook Street.

The T1 zone is designed to provide a transition of uses, from high intensity commercial use to residential use. This transition can be achieved by combining existing lots, limiting new curb cuts along Route 10, limiting the size of commercial buildings, regulating the style and quality of construction and establishing buffer areas. The objective is to create a unified commercial or mixed use area, developed with an internal service road. All applications for development within the T1 zone must take into account this concept for an internal roadway. Designs that will prevent the possibility of bringing this concept to fruition shall not be approved.

The transitional zone is created in recognition of the commercial growth that is occurring in this area, the relocation of the Canton Road intersection, the availability of public water and public sewer and the Town's overall success in limiting curb cuts and managing traffic flow within the overall area.

The following regulations and standards are designed to bring about the above goal.

3.10.1 Permitted Uses

The following uses are permitted:

3.10.1.1 Single-family dwellings;

3.10.1.2 Home occupations, subject to Section 8.8;

3.10.1.3 Accessory uses customarily incidental to permitted uses, subject to Section 8.1; and

3.10.1.4 Family Child Care Home or Group Child Care Home, located in a residence and licensed by the Office of Early Childhood.

3.10.2 Special Permits Uses, subject to the Special T1 Zone Criteria and Section 8.2.

3.10.2.1 Commercial educational facilities, including day care centers, other than Family Child Care Home or Group Child Care Home, located in a residence and licensed by the Office of Early Childhood, in public, private and institutional buildings with a valid state license;

3.10.2.2 Bed-and-breakfast facilities, inns and motels;

3.10.2.3 Business or professional offices, including financial institutions and/or office parks;

3.10.2.4 Commercial recreational facilities, including health clubs, indoor and outdoor recreational complexes and all associated fields, courses, buildings and equipment;

- 3.10.2.5** Restaurants, subject to Section 8.16;
- 3.10.2.6** Retail sale, rental and/or repair of items such as food, clothing, hardware, garden supplies, jewelry, electronics, appliances, books, sporting goods, nursery items, home improvement products and general merchandise;
- 3.10.2.7** Personal services, including, but not limited to barbershops, beauty shops, cleaning establishments, nail salons and appliance and other general repair shops, excluding automobile repair;
- 3.10.2.8** Nursing homes with a maximum density of 15 beds per acre;
- 3.10.2.9** Elderly housing with a maximum density of 10 units per acres;
- 3.10.2.10** Active Adult Residential Development, in general conformity with the standards set forth in Section 8.27.3, except where such standards are in conflict with the T1 Zone Criteria of Section 3.10.3;
- 3.10.2.11** Assisted living facilities, independent living facilities, multi-family residential developments and similar residential uses with a maximum density of 8 units per acre;
- 3.10.2.12** Accessory uses customarily incidental to principal uses.

3.10.3 **Special T1, Zone Criteria**

- 3.10.3.1** The Special Permit uses listed above may only be approved on a lot which contains a minimum of 4 acres.
- 3.10.3.2** The maximum area of the footprint of a single commercial building is 20,000 square feet.
- 3.10.3.3** All commercial buildings must be clearly separated by a minimum of 30 feet.
- 3.10.3.4** The establishment of commercial uses that do not currently exist within the Town shall be preferred over the replication of existing uses.
- 3.10.3.5** The combined area of the footprints of all commercial buildings must be less than or equal to 20% of the total land area. (Example: 4.6 acres = 200,376 square feet. 20% of 200,376 = 40,075. Therefore, the total area of the footprint of any combination of commercial buildings on a property of 4.6 acres shall be 40,075 square feet, or less).
- 3.10.3.6** No Special Permit use may be approved unless the Route 10 curb cut (west side), which serves the Special Permit use, is separated by at least 800 feet from any other curb cut, serving a Special Permit use and also located on the west side of Route 10. For the purpose of this regulation the existing YMCA curb cut is a curb cut serving a Special Permit use. This is the only commercial curb cut that exists within the T1 zone as of the adoption of this regulation. New Special Permit developments that do not comply with the curb cut separations may not be approved.
- 3.10.3.7** A primary purpose of this zone is to encourage the construction of an internal service road which extends from a point opposite Floydville Road to a point located on Canton Road Extension, as outlined above. It is anticipated that the majority of new uses will be serviced through the construction of this service road. The internal roadway shall be designed as a Town Road and easements shall be established at property boundaries to permit the future extension of the road. It is understood that

the road may be constructed in segments and further understood that the actual transfer of the ownership of the road, to the Town, may occur at a future date, well after the earliest road segments were constructed. All appropriate bonds, deeds and easements shall be maintained to provide for the future transfer of the ownership of the road to the Town.

3.10.3.8 All developments shall provide vehicular and pedestrian easements, at the direction, and in locations determined by the Commission, to allow passage to and from adjacent properties to achieve the goals of the T1 zone.

3.10.3.9 No parking area, for a commercial development may be located within 100 feet of the Salmon Brook street line.

3.10.3.10 A landscape buffer area of not less than 150 feet shall separate any proposed Special Permit uses from single family homes, existing on the date of adoption of this regulation, and located within the adjacent R30 zone. The Commission shall determine the planting and design requirements for all such buffer areas. The preservation of existing trees and shrubs for buffering is preferred to the planting of new materials. However, the planting of new materials may also be required to supplement the existing vegetation. Applicants are advised not to remove existing vegetation prior to the Commission's consideration of an application. Where existing vegetation has been removed prior to the filing of an application, the Commission may deny the application and recommend that the removed vegetation be replaced.

3.10.3.11 **RESERVE**

3.10.3.12 A landscaped Streetscape buffer along the frontage of Salmon Brook Street shall be designed for each application. Where possible, applicants shall use the design elements of the landscape berm located at 124 Salmon Brook Street (Stop and Shop Plaza) as a guide in designing the streetscape buffer.

3.10.3.13 No goods, merchandise, equipment or machinery shall be stored or displayed outside of a building unless the areas are specifically authorized by the Commission as a part of a site plan or special permit approval. Parking spaces and landscaping areas shall not be used for the sales, storage, display of goods or for advertising purposes of any kind, except for detached signs installed in conformance with these Regulations.

3.10.3.14 All commercial activity shall be conducted wholly within enclosed buildings, except for off-street loading, periodic sidewalk sales and other operations normally conducted outdoors, and excepting other uses specifically authorized by the Commission as part of a site plan or special permit approval.

3.10.3.15 Site lighting shall be designed as the absolute minimum necessary to achieve the desired purpose. Light pollution and excessively bright or intrusive lighting is a concern in the Town of Granby. Lighting plans shall include the height and type of poles, the design of the fixtures (primarily those that provide full horizon shading), the wattage and type of lighting and a written justification, with citation to published standards by authoritative sources, for the amount and type of lighting proposed. Lighting plans shall also include an illumination profile outlining the level of lighting, in foot-candles, produced throughout the site. Lighting shall be a specific design element of the development, comprehensively planned with uniformity of poles, fixtures and lighting. Metal halide lighting shall be considered for use throughout the T1 Zone.

3.10.3.16 Noise is a community concern and should be considered and measures taken to reduce its impact, in the design of all developments. Care should be taken to buffer areas of potential noise by shielding such areas through the strategic placement of

buildings, earth berms or through a combination of these and other appropriate techniques.

- 3.10.3.17** A complete site plan as outlined within Section 4 shall be prepared for all special permit uses as stated above.
- 3.10.3.18** Parking requirements shall be as outlined within Section 7. The Commission may waive the specific requirements regarding the location of parking spaces to achieve the goals of the T1 zone as stated above.
- 3.10.3.19** All Special Permit Application shall include an analysis of the anticipated vehicular traffic that will be generated by the proposed use. Of specific concern is the peak hour traffic and the related turning movements of vehicles during the peak hours. The Commission shall strive to establish a mix of commercial uses which differ in their peak hours of traffic generation.
- 3.10.4** Required Lot Areas, Yards, Coverage, Heights and Frontages shall be as outlined for the R30 zone in Section 5, except as outlined herein. The Commission may waive the requirements of Section 5 to achieve the goals of the T1 zone as stated above.
- 3.10.5** In accordance with the goals outlined within the preamble, the following design guidelines are offered for consideration in the preparation of all T1 zone applications:
 - 3.10.5.1** High quality masonry building materials (brick, stone, or materials having the appearance of them) should make up no less than 50 percent of the wall surface area, not including windows, of any façade of the building. The balance of wall surface area shall be made up of wood siding or shingle (shakes) or a combination of wood and synthetics. However, synthetic materials shall be limited to no more than 25 percent of the surface area of any façade other than the rear façade and shall not be permitted in any degree on the front façade;
 - 3.10.5.2** Substantial structural elements shall be made prominent in building design to provide relief to large walls, create visual interest, define entrances, and convey a sense of permanence;
 - 3.10.5.3** Use of carefully chosen architectural details, such as cornices, brackets, and awnings is encouraged;
 - 3.10.5.4** Building material colors should primarily consist of neutrals and darker tones;
 - 3.10.5.5** Whenever practicable, recessed entrances should be used to allow for a small outdoor shelter, increase window display area, reduce the massing and add relief to a façade;
 - 3.10.5.6** Doors should be designed so as to make the doorway a unique and inviting architectural characteristic of the building;
 - 3.10.5.7** It is not essential that the primary entranceways be situated toward the street;
 - 3.10.5.8** In cases where a customer entrance is required at the rear of a building the standards of the rear façade shall equal the quality of design and materials of the façade facing the front;
 - 3.10.5.9** Roof materials should be chosen with respect for building sustainability and durability;

- 3.10.5.10** Standing seam metal, or other dimensional, commercial grade shingle, slate, or simulated slate roofing in neutral colors should be preferred;
- 3.10.5.11** Parking should be central to the overall development and if possible, surrounded on no less than two sides by the proposed commercial business;
- 3.10.5.12** Parking should be situated to provide efficient pedestrian access from business to business to ensure that a single parking space will be close enough to all corners of the commercial center;
- 3.10.5.13** The circulation lanes of the parking area should be located adjacent to the front facade, should be characterized by benches, street trees, trash receptacles, high quality materials, textured pedestrian crossings and pedestrian scale lighting. The desired effect of such an arrangement is to create a small scale "main street" environment within individually developed cluster mixed-use or commercial centers;
- 3.10.5.14** Extensive use of street trees and curbside landscaping should characterize the T1 zone;
- 3.10.5.15** A system of sidewalks, designed for the convenience of pedestrian traffic, shall be incorporated in all development applications. Sidewalks shall be designed and constructed to serve pedestrian movement within each proposed development and with consideration of linkages to adjacent sites. Proposed site plans shall also include provisions for pedestrian and non-motorized amenities, such as benches (stand alone or permanent fixture), garbage receptacles, and bicycle racks;
- 3.10.5.16** In cluster commercial settings, pedestrian pathways should be covered along the front façade by awnings or arcades to permit efficient all weather pedestrian circulation from business to business;
- 3.10.5.17** Developments shall consider incorporating outdoor plaza areas containing benches, trash receptacles, landscaping, instructional signage, and partial shelter (such as a gazebo or awning). Outdoor plazas may also be characterized by substantial defining central amenities, such as a fountain, a clock tower or public art. Out-door plaza areas should be centrally located, insofar as possible. Restaurant uses having outdoor cafes should be encouraged to located adjacent to and interplay with plaza areas to encourage public use of the space;
- 3.10.5.18** Ground mounted mechanical equipment may be located along a rear façade, but should be screened from view by a decorative masonry screen wall comprised of masonry materials mimicking or complimenting those used in the primary structure;
- 3.10.5.19** Roof mounted mechanical equipment should be screened from public view;
- 3.10.5.20** Utilities shall be located underground;
- 3.10.5.21** Chain link fencing should be avoided in all but very unusual circumstances.

VII. Appraisal



Galvin
Appraisal Services, LLC

16 Spring Lane, Farmington, CT 06032
860.677.5522 | Fax: 860.677.5544

Narrative Real Estate Appraisal Report

OF: The Fee Simple Interest in a 1.50 +/- Acre Site
Improved with 2,288 +/- SF Vacant Commercial Building

LOCATED AT: 83 Salmon Brook Street, Granby, Connecticut

AUTHORIZED BY: Abigail St. Peter Kenyon, AICP, Director of Community Development

DATE OF VALUATION: November 18, 2024

Galvin File Number: 224130



John J. Galvin, MAI

john@agvalues.com

January 15, 2025

Abigail St. Peter Kenyon, AICP
Director of Community Development
Town of Granby
15 North Granby Road
Granby, Connecticut 06035

Re: Real Estate Appraisal of 83 Salmon Brook Street, Granby, Connecticut

Dear Ms. Abigail St. Peter Kenyon, AICP:

At your request, we have conducted an appraisal of the referenced property (subject) for the purpose of estimating the current market value of the fee simple interest, as of November 18, 2024, the date of our most recent inspection. The effective date of the appraisal is generally current with respect to the January 15, 2025 date of this writing. It is our understanding that the function of this report is to assist the client in a business decision. A copy of the signed engagement letter is retained in our work file of this appraisal report. The client for this appraisal report is the Town of Granby, with Abigail St. Peter Kenyon, AICP as the contact person. Other intended users include the Town of Granby's employees and counselors, regulatory authorities, and all those persons involved in the client's business decision process.

Please note that we previously submitted an appraisal of the subject property to a different client on October 3, 2023 with an effective date of August 8, 2023. The client of this appraisal was an intended user of the previous appraisal. The purpose of the previous appraisal was to provide the "as is" current market value of the subject property. The function of the previous report was to assist the client in a business decision pertaining to the possible purchase of the subject property. The purpose of this appraisal is to provide the "as is" current market value to also assist the client in a business decision.

The appraised property consists of a 1.50 +/- acre (65,443 +/- SF) site located along the westerly side of Salmon Brook Street (a.k.a. Rte. 10 and 202) in the Town of Granby, Connecticut. The site is improved with a two-story commercial building that is currently vacant. The building improvement is estimated to contain 2,288 +/- square feet (SF) of Gross Building Area (GBA) and 2,288 +/- SF of Net Rentable Area (NRA). The building is in average physical condition. The property is vacant; thus, it is not encumbered by an arm's-length lease. As a result, the property rights appraised are those of the fee simple, as opposed to the leased fee interest.

In accordance with the terms of our engagement, this report is the result of an appraisal process that was conducted in compliance with the Uniform Standards of Professional Appraisal Practice (USPAP). The *Scope of Work* is more fully summarized on page 5 of the attached report. Briefly, the subject property was inspected, public records were examined, and market conditions and transaction data were researched. In the course of the research and analysis, a conclusion was reached that the highest and best use for the subject property is for continued use and occupancy. This report satisfies normal federal, state, and industry standards, and supporting documentation is retained in our work file. We are not responsible for the unauthorized use of this report.

This appraisal is predicated on the assumption that hazardous substances do not exist at the subject property. Members of this appraisal office are not qualified to determine the existence of, nor is any certification made as to the presence or absence of any hazardous substances. No responsibility is assumed for any such conditions or for any expertise or engineering knowledge required to discover them. However, there were no hazardous substances noted at the time of inspection.

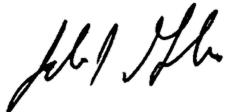
All relevant valuation methods were employed in the appraisal process. The methods that are relevant to the valuation of commercial properties in the subject's market area include the Sales Comparison and Income Capitalization Approaches. Both of these methods are developed. The appraisal was conducted to determine the current market value reflecting the physical condition and occupancy of the subject property, *as is*. The type of purchaser expected for the subject includes owner occupants and investors, and the valuation methods are given equal weight in the reconciled value opinion.

The market data considered in the valuation process indicates that, as of November 18, 2024, the current market value of the fee simple interest of the subject is:

THREE HUNDRED THOUSAND DOLLARS
(\$300,000)

The data that was gathered, the analysis conducted, and the valuation conclusions are summarized in the attached report of 58 pages. The estimate of value is predicated on an exposure period of 6-12 +/- months. The subject is not listed nor under contract for sale and it is not leased or offered for lease. There also have been no sales of the subject within the past three years that warrant consideration, as required by USPAP.

Respectfully submitted,



John J. Galvin, MAI
CT Certified General Real Estate Appraiser
RCG#: 0000758, Expires April 30, 2025



Zachary Burksa
CT Certified General Real Estate Appraiser
RCG#: 0001768, Expires April 30, 2025

PHOTOGRAPHS OF THE SUBJECT PROPERTY



Looking northwest at 83 Salmon Brook St,
Granby – Subject Property



Looking northerly at subject property



Looking northeast at subject property



Looking southeast at subject property



Looking south at subject property



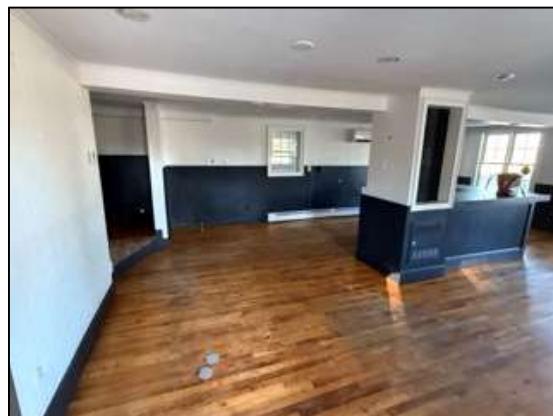
Looking southwest at subject property



PHOTOGRAPHS OF THE SUBJECT PROPERTY



Eastern side of first floor



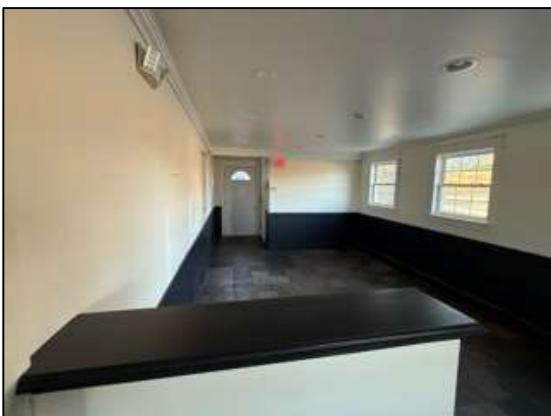
Eastern side of first floor



Eastern side of first floor



Split unit air-conditioning



Northern side of first floor



First floor restroom



PHOTOGRAPHS OF THE SUBJECT PROPERTY



Step up to western side of first floor



Western side of first floor



Western side of first floor



Freezer on northwestern side of building



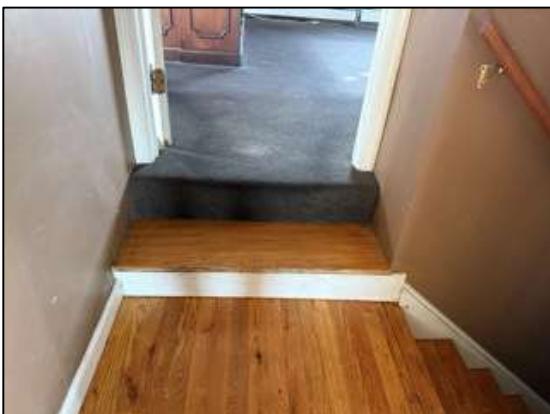
Access door to the western side



Stairs to second floor



PHOTOGRAPHS OF THE SUBJECT PROPERTY



Step up into second floor office space



Second floor office



Closet and bathroom in second floor office



Room on second floor



Room on second floor



Bathroom on second floor



PHOTOGRAPHS OF THE SUBJECT PROPERTY



Janitorial sink at top of basement stairs



Stairs to basement



Eastern side of basement



Well water tank



Furnace



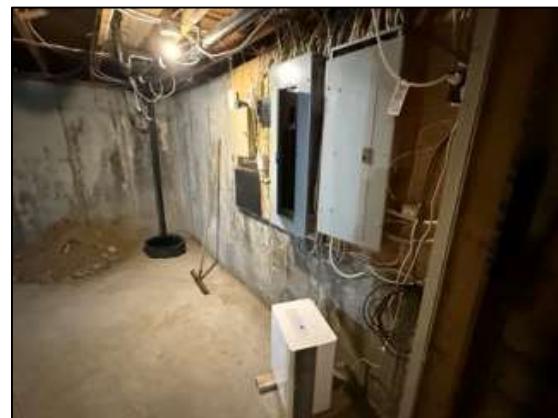
Sump pump on eastern side of basement



PHOTOGRAPHS OF THE SUBJECT PROPERTY



Foundation on eastern side



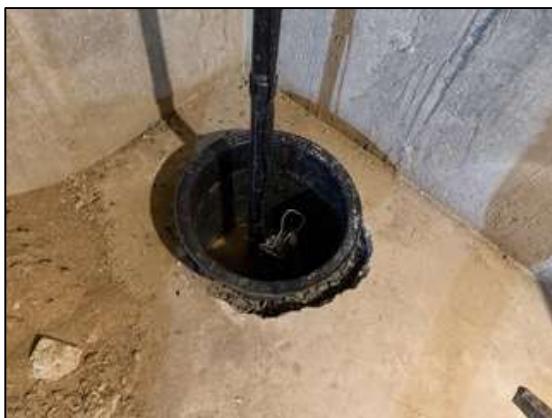
Western side of basement



Electrical panels



Hot water heater on western side of basement



Sump pump on western side of basement



Stairs to outside from western side of basement



PHOTOGRAPHS OF THE SUBJECT PROPERTY



Deck on eastern side



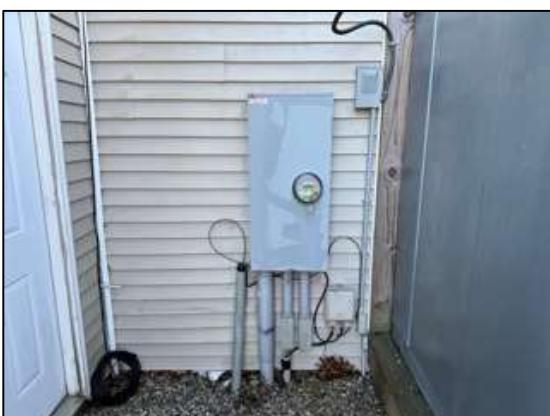
Ramp for handicap accessibility on southwestern side



Gas meter



Ventilation for hood on western side



Electrical meter



Split unit air-conditioning



PHOTOGRAPHS OF THE SUBJECT PROPERTY



Parking lot



Detention basin on western side of lot



Looking east on Murthas Way



Looking west on Murthas Way



Looking northern on Salmon Brook Street



Looking south on Salmon Brook Street



GALVIN APPRAISAL SERVICES, LLC

TABLE OF CONTENTS

EXECUTIVE SUMMARY	1
AERIAL VIEW OF SUBJECT PROPERTY	2
PROPERTY IDENTIFICATION	3
DISCLOSURES AND LIMITING CONDITIONS.....	4
SCOPE OF WORK	5
DEFINITIONS.....	6
REGIONAL LOCATION MAP.....	10
COMMUNITY DATA.....	11
NEIGHBORHOOD LOCATION MAP	14
NEIGHBORHOOD DESCRIPTION	15
ZONING	16
ASSESSMENT/TAXES	18
SITE DATA.....	19
BUILDING DATA.....	22
HIGHEST AND BEST USE	24
SALE HISTORY	24
VALUATION PREMISE.....	25
SALES COMPARISON APPROACH	26
INCOME CAPITALIZATION APPROACH	44
RECONCILIATION	50
CERTIFICATION.....	51
ASSUMPTIONS AND LIMITING CONDITIONS	52
ADDENDA	58



EXECUTIVE SUMMARY

SUBJECT PROPERTY

Property Type	Commercial - Restaurant
Address	83 Salmon Brook Street, Granby, CT
Owner of Record	Town of Granby: Volume 378, Page 963 & Volume 436, Page 1066
Land Area AC	1.50 +/- Acres
Building(s)	One
Building Area	2,288 +/- SF GBA, 2,288 +/- SF NRA
Occupancy	0%
Occupant(s)	Vacant
Zone	T1 – Commercial Transition
Highest and Best Use	Commercial Occupancy
Contamination Hazard	Assumed to be none
Tax Map	Map I-51, Lot 83-17
Assessment	\$266,000
	Current Annual Tax \$8,813

APPRAISAL ASSIGNMENT

Client	Town of Granby, with Abigail St. Peter Kenyon, AICP as the contact person
Purpose & Function	The purpose of this appraisal is to estimate the current market value. The function is to assist the client in a business decision.
Scope of Work	To develop all relevant appraisal methods to estimate the “as is” current market value of the subject and report the analysis in narrative report format in compliance with the Uniform Standards of Professional Appraisal Practice (USPAP).
Assumptions & Hypothetical Conditions	Extraordinary assumptions and/or hypothetical conditions that were required are described on page 4 of the attached report.
Estate Appraised	Fee Simple Estate
Date of Valuation	November 18, 2024, the date of our most recent inspection.
Perspective of Value	The valuation is generally current with respect to the January 15, 2025, date of this writing.
Estimated Exposure	6-12 +/- months

INDICATED MARKET VALUES

Sales Comparison Approach	\$300,000
Income Capitalization Approach	\$300,000
FINAL ESTIMATE OF VALUE	\$300,000
	(\$131.12/SF)



AERIAL VIEW OF SUBJECT PROPERTY



Extracted from Google Earth Using Snag-it, Not to Scale



PROPERTY IDENTIFICATION

Property Type & Location

The appraised property is a vacant commercial building with a mailing address of 83 Salmon Brook Street, Town of Granby, Connecticut. The property is located on the northwestern corner of Salmon Brook Street (a.k.a., Rte. 10 & 202) and Murtha's Way. The Farmington Canal Heritage Trail travels along the eastern property line. The Granby Tax Assessor identifies the property as Map I-51, Lot 83-17. The property is also identified by the Town of Granby as Account#: 1-2-83 and Vision ID: 4355.

Rights Appraised

The subject is vacant; therefore, the property rights appraised are those of the fee simple interest, as opposed to the leased fee interest.

Legal Description & Ownership

83 Salmon Brook Street, Granby, Connecticut (the subject property) is owned by Town of Granby who acquired it by Special Warranty Deed on August 3, 2011. The deed is recorded in Volume 378, Page 963 of the Granby Land Records. On April 1, 2020, the Town of Granby was granted a 0.51 +/- acre parcel located to the north of the improved property for additional parking. The property was conveyed from Upstream Properties LLC to the Town of Granby for no consideration as recorded in Volume 436, Page 1066 of the Granby Land Records. Copies of the deeds, which includes legal descriptions, are included in the Addenda.

Occupant

Vacant

Property History

The Town of Granby acquired the property on August 3, 2011 from Deutsche Bank (Select Portfolio Servicing Inc) for consideration of \$90,000, as recorded in Volume 378, Page 963 of the Granby Land Records. The site was already improved with the existing building but was in tired condition.

On September 17, 2018, the town granted an easement to Upstream Properties LLC to support the mixed use development located to the west of the subject. As a result, Upstream Properties LLC conveyed a 22,381 +/- SF or 0.514 +/- acre parcel that is the northern portion of the subject property, which now functions are the parking lot.

The town leased the building to a tenant who planned to open a restaurant/caf . The lease reportedly started low at about \$400 per month and the tenant was required to complete the work that was needed. The tenant had a power surge and was no longer able to operate. Thus, the tenant subleased the space to the most recent occupant until the lease expired. The sublessee was working to negotiate a new lease with the town, making it the lessee. However, this tenant has since vacated the property. Consequently, the property remains vacant.



DISCLOSURES AND LIMITING CONDITIONS

The value estimate is based on the following critical disclosures and limiting conditions in addition to the standard Assumptions and Limiting Conditions listed on page 52.

Client & Intended Users	The client for this appraisal report is the Town of Granby, with Abigail St. Peter Kenyon, AICP as the contact person. Other intended users include the Town of Granby's employees and counselors, regulatory authorities, and all those persons involved in the client's business decision process.
Purpose & Function of Appraisal	The purpose of the appraisal is to estimate the current market value of the fee simple estate, as of November 18, 2024, the date of our most recent inspection. It is our understanding that the function of this report is to assist the client in a business decision. A copy of the signed engagement letter is retained in our work file of this appraisal report.
Perspective of Value	The effective date of the appraisal is generally current with respect to the January 15, 2025 date of this writing.
Previous Work	In accordance with the Ethics Provision of USPAP, we are notifying the client that we have previously appraised the subject property with an effective date of August 8, 2023 that was transmitted to a different client on October 3, 2023. The client of this appraisal was an intended user of the previous appraisal.
Assumptions	Ordinary assumptions and limiting conditions are listed on page 52. The appraisal problem does not require the adoption of <i>Hypothetical Conditions</i> but does require <i>Extraordinary Assumptions</i> to be made. These are listed below. If it is discovered that the basis for an <i>Extraordinary Assumption</i> is not valid, then the right is reserved to reconsider the value conclusion(s) and/or to amend this report.
<i>Extraordinary Assumptions</i>	The appraisal problem requires an <i>Extraordinary Assumption</i> that the subject property is, and will remain, equitably assessed.
	Water reportedly tends to leach into the basement limiting the utility of this sections of this space. Dampness in the basement was noted at the time of the inspection. It is not clear if the dampness is from water leaching down the hill and through the foundation, or if it is coming from the detention basin located north of the subject that was installed when the westerly abutting residential development was built. Therefore, this appraisal is based on the <i>Extraordinary Assumption</i> that the basement dampness / flooding is or will be remediated in the near future.

SCOPE OF WORK

The value opinion is the result of an appraisal process including:

- A physical inspection of the property, including the interior of the building on November 18, 2024.
- Research in public records of the rights that append to the ownership of the fee interest in the subject and its recent ownership history. This included a general review of zoning regulations and the property assessment and tax burden.
- An investigation of the subject location including the immediate neighborhood and local market conditions for properties of the subject type.
- The application of all normally relevant appraisal methods for properties reflecting the size, age and highest and best use of the subject. Market data was researched for sales and leases of commercial properties, including the length of market exposure.
- The appraisal process employed the Sales Comparison and Income Capitalization Approaches. Recent rents and sales were researched in Granby and competing communities.
- We have substantial experience valuing properties of the subject type, and no special measures were required to ensure the competency of the value opinion.

The appraisal process did not include:

- An investigation of environmental contamination or the presence of hazardous materials. The appraisal is predicated on the assumption that the subject property is not contaminated and that hazardous materials are not present. This assumption conforms to normal appraisal practice in this market area. We are not responsible for the discovery or reporting of contaminants. Please note, however, that no hazardous material was observed at the time of inspection, and we recommend that the client retain the services of an environmental specialist to determine if hazardous materials are present at the property.
- A compliance survey to determine if the building conforms to the requirements of the Americans with Disabilities Act (ADA) is outside of the professional purview of real estate appraisal services. Members of this appraisal office are not qualified to determine ADA compliance, and we recommend that the client obtain the opinion of a qualified code expert.
- The formation of an expert opinion with regard to conformance with building and/or life safety codes, to the legality of the subject use, the validity of survey or legal descriptions of record, or the presence of defects in the subject building and its mechanical systems. Such opinions are outside the purview of ordinary appraisal practice.
- A separate opinion of the land value alone, as if unimproved with the subject building.
- A valuation of personal property that may be present and incidental to the operation of the subject property. For example, all equipment, furniture, etc. are considered personal property. The contributory value of these items, if any, are not included in the value of the real estate estimated in this appraisal.

Reporting:

A narrative appraisal report consistent with Section 2.2(a) of USPAP effective January 1, 2024 was produced at the client's request. Supporting data is retained in our work file.

DEFINITIONS

Market Value

“Market value is the focus of most real property appraisal assignments. Both economic and legal definitions of market value have been developed and refined. A current definition agreed upon by agencies that regulate federal financial institutions in the United States of America is:

The most probable price which a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller each acting prudently and knowledgeably, and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby:

- 1 *Buyer and seller are typically motivated;*
- 2 *Both parties are well informed or well advised, and acting in what they consider their own best interests;*
- 3 *A reasonable time is allowed for exposure in the open market;*
- 4 *Payment is made in terms of cash in U.S. dollars or in terms of financial arrangements comparable thereto; and*
- 5 *The price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions granted by anyone associated with the sale.”*

Source: [Federal Register, Vol. 55, No. 161](#)
August 20, 1990, Rules and Regulations; Federal Deposit Insurance Corporation; 12CFR Part 32.42 (f)

The following definitions were all extracted from:

Source: [The Dictionary of Real Estate Appraisal](#)
Seventh Edition, 2022; Appraisal Institute

Most Probable Selling Price: *“The price at which a property would most probably sell if exposed on the market for a reasonable time, under the market conditions prevailing on the date of the appraisal.”*

Fee Simple Estate: *“Absolute ownership unencumbered by any other interest or estate, subject only to the limitations imposed by the governmental powers of taxation, eminent domain police power, and escheat.”*

Leased Fee Interest: *“The ownership interest held by the lessor, which includes the right to receive the contract rent specified in the lease plus the reversionary right when the lease expires.”*

Dominant Estate: *“A property that is served or benefitted by an easement. The opposite of servient estate, which granted the easement. Also known as the dominant tenement and the servient tenement, respectively.”*

Servient Estate: *“A property burdened by an easement; also known as the servient tenement. The servient estate is the opposite of the dominant estate (also known as the dominant tenement), which benefits from an easement.”*

Appurtenance: *“Something added or appended to a property that then becomes an inherent part of the property (e.g., something physical like building improvements or legal like an easement or right of way); usually passes with the property when title is transferred”.*

Easement Appurtenant: *“An easement that is attached to, benefits, and passes with the transfer of the dominant estate; runs with the land for the benefit of the dominant estate and continues to burden the servient estate, although such an estate may be transferred to new owners.”*

DEFINITIONS, CONTINUED

Taking: “*The acquisition of a parcel of land through condemnation.*”

Easement: “*The right to use another’s land for a stated purpose.*”

Easement in Gross: “*An easement that benefits a legal person or entity (individual, corporation, partnership, LLC, Government entity, etc.) and not a particular tract of land; an easement having a servient estate but no dominant estate.*”

Easement by Prescription: “*The right to use another’s land, which is established by exercising this right openly, hostility, and continuously over a statutory period of time*”

Encumbrance: “*Any claim or liability that affects or limits the title to property. An encumbrance can affect the title such as a mortgage or other lien, or it can affect the physical condition of the property such as an easement. An encumbrance cannot prevent the transfer of possession, but it does remain after the transfer.*”

Subsurface Easement: “*The right to use land at a designated distance below its surface, e.g., for pipelines, electric and telephone circuits and cables, storage facilities*”. (Also, water, sewer, drainage).

Subsurface Rights: “*1) The rights to the use and profits of the underground portion of a designated property; usually refers to the right to extract coal, minerals, oil, gas, or other hydrocarbon substances as designated in the grant. 2). The right to construct and maintain tunnels, subways, pipelines, sewers, etc.*”

Damages: “*1). Money claimed by, or ordered to be paid to, a person as compensation for loss or injury. (Black’s). 2) In condemnation, the loss in value to the remainder in a partial taking of property. Generally, the difference between the value of the whole property before the taking and the value of the remainder after the taking is the measure of the value of the part taken and the damages to the remainder. Note that the different regions of the country and different courts may use terms such as consequential damages, and severance damages differently.*”

Partial Taking: “*The taking of part of a property for public use under the power of eminent domain; requires the payment of compensation.*”

Partial Interest: “*Divided or undivided rights in real estate that represent less than the whole, i.e., a fractional interest such as a tenancy in common or easement*”.

Functional Utility: “*The ability of a property or building to be useful and to perform the function for which it is intended according to current market tastes and standards; the efficiency of a building’s use in terms of architectural style, design and layout, traffic patterns, and the size and type of rooms.*”

Bundle of Rights Theory: “*The concept that compares property ownership to a bundle of sticks with each stick representing a distinct and separate right of the property owner, e.g., the right to use real estate, to sell it, to lease it, to give it away, or to choose to exercise all or none of these rights.*”

Excess Land: “*Land that is not needed to serve or support the existing use. The highest and best use of the excess land may or may not be the same as the highest and best use of the improved parcel. Excess land has the potential to be sold separately and is valued separately.*”

Surplus Land: “*Land that is not currently needed to support the existing use but cannot be separated from the property and sold off for another use. Surplus land does not have an independent highest and best use and may or may not contribute value to the improved parcel.*”

DEFINITIONS, CONTINUED

Larger Parcel: *"In governmental land acquisitions and in valuation of charitable donations of partial interest in property such as easements, the tract or tracts of land that are under the beneficial control of a single individual or entity and have the same, or an integrated, highest and best use. Elements for consideration by the appraiser in making a determination in this regard are contiguity, or proximity, as it bears on the highest and best use of the property, unity of ownership and unity of highest and best use. In most states, unity of ownership, contiguity, and unity of use are the three conditions that establish the larger parcel for the consideration of severance damages. In federal and some state cases, however, contiguity is sometimes subordinated to unitary use."*

Extraordinary Assumption: *"An assignment-specific assumption as of the effective date regarding uncertain information used in an analysis which, if found to be false, could alter the appraiser's opinions or conclusions. Comment: Uncertain information might include physical, legal, or economic characteristics of the subject property, or conditions external to the property, such as market conditions or trends, or about the integrity of data used in an analysis (USPAP, 2020-2021 ed.)."*

Hypothetical Condition: *"1. A condition that is presumed to be true when it is known to be false (SVP). 2. A condition, directly related to a specific assignment, which is contrary to what is known by the appraiser to exist on the effective date of the assignment results but is used for the purpose of the analysis. Comment: Hypothetical conditions are contrary to known facts about physical, legal or economic characteristics of the subject property; or about conditions external to the property, such as market conditions or trends; or about the integrity of data used in an analysis (USPAP, 2020-2021 ed.)"*

Exposure Time: *"1. The time a property remains on the market. 2. An opinion, based on supporting market data, of the length of time that the property interest being appraised would have been offered on the market prior to the hypothetical consummation of a sale at market value on the effective date of the appraisal."*

Marketing Time: *"An opinion of the amount of time to sell a property interest at the concluded market value or at a benchmark price during the period immediately after the effective date of an appraisal. Marketing time differs from exposure time, which precedes the effective date of an appraisal. (Advisory Opinion 7 and Advisory Opinion 35 of the Appraisal Standards Board of The Appraisal Foundation address the determination of reasonable exposure and marketing time)."*

Modified Gross Lease

"A lease in which the landlord receives stipulated rent and is obligated to pay some, but not all, of the property's operating and fixed expenses. Since assignment of expenses varies among modified gross leases, expense responsibility must always be specified. In some markets, a modified gross lease may be called a double net lease, net net lease, partial net lease, or semi-gross lease."

Gross Lease

"A lease in which the landlord receives stipulated rent and is obligated to pay all of the property's operating and fixed expenses; also called a full-service lease."

Net Net Net Lease

"An alternative term for a type of net lease. In some markets, a net net net lease is defined as a lease in which the tenant assumes all expenses (fixed and variable) of operating a property except that the landlord is responsible for structural maintenance, building reserves, and management; also called NNN lease, triple net lease, or fully net lease."



DEFINITIONS, CONTINUED

Absolute Net Lease

“A lease in which the tenant pays all expenses including structural maintenance, building reserves, and management; often a long-term lease to a credit tenant.” See also ‘net lease’

Net Lease

“A lease in which the landlord passes on all expenses to the tenant.” See also ‘gross lease; modified gross lease’

Furniture, Fixtures, and Equipment (FF&E): *“The movable property of a business enterprise not classified as stock or inventory or leasehold improvements; frequently found in the ownership of hotels or motels, restaurants, assisted-living facilities, service stations, car washes, greenhouses or nurseries, and other service-intensive properties. Furniture, fixtures, and equipment frequently wear out much more rapidly than other components of those properties.”*

Business Enterprise Value: *“A term applied to the concept of the value contribution of the total intangible assets of a continuing business enterprise such as marketing and management skill, an assembled workforce, working capital, trade names, franchises, patents, trademarks, contracts, leases, and operating agreements.”*

Goodwill: *“1) An intangible asset category usually composed of elements such as name or franchise reputation, customer patronage, location, products, and similar factors. (USPAP, 2002 ed.) 2) The intangible asset that arises as a result of a name, reputation, customer patronage, location, products, and similar factors that have not been separately identified and/or valued but that generate economic benefits.”*

Going Concern Value / Going Concern / Going Concern Premise / Market Value of the Going Concern

Going Concern Value: *An outdated label for the market value of all the tangible and intangible assets of an established operating business with an indefinite life, as if sold in aggregate; more accurately termed the market value of the going concern or market value of the total assets of the business.*

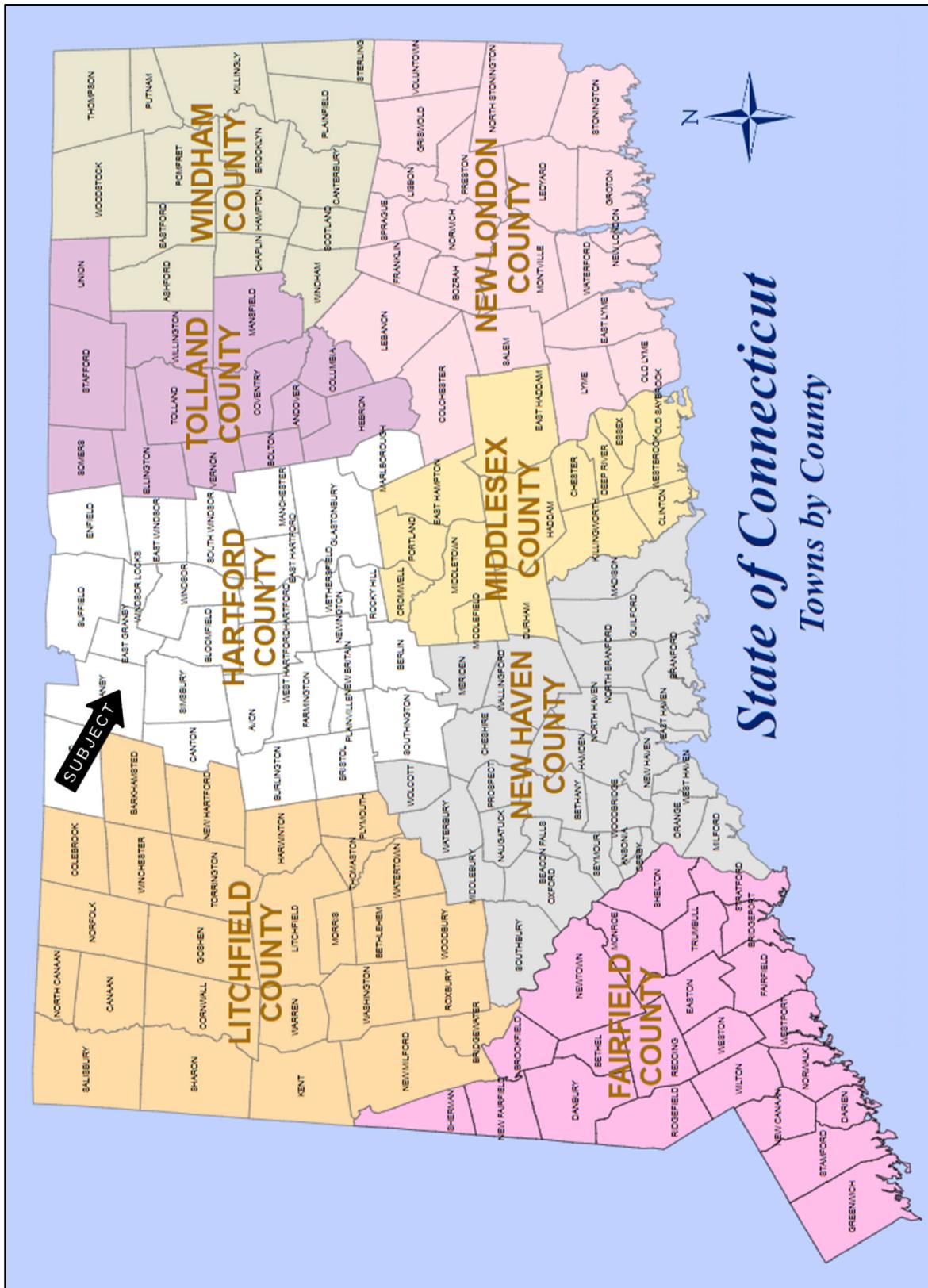
Going-concern Premise: *One of the premises under which the total assets of a business can be valued; the assumption that a company is expected to continue operating well into the future (usually indefinitely).*

Going Concern: *1) An established and operating business having an indefinite future life. 2. An organization with an indefinite life that is sufficiently long that, over time, all currently incomplete transformations transforming resources from one form to a different, more valuable form will completed.*

Market Value of the Going Concern: *The market value of an established and operating business including the real property, personal property, financial assets, and the intangible assets of the business.*

The following definition is from The Dictionary of Real Estate Appraisal, Fourth Edition, 2002; Appraisal Institute. It is that for ‘Going Concern’ and is provided for clarification only. The market value of all tangible and intangible assets of an established and operating business with an indefinite life, as if sold in aggregate. 2) Tangible and intangible elements of value in a business enterprise resulting from factors such as having a trained work force, an operational plan, and the necessary licenses, systems, and procedures in place. 3) The value of an operating business enterprise. Goodwill may be separately measured but is an integral component of going-concern value.

REGIONAL LOCATION MAP



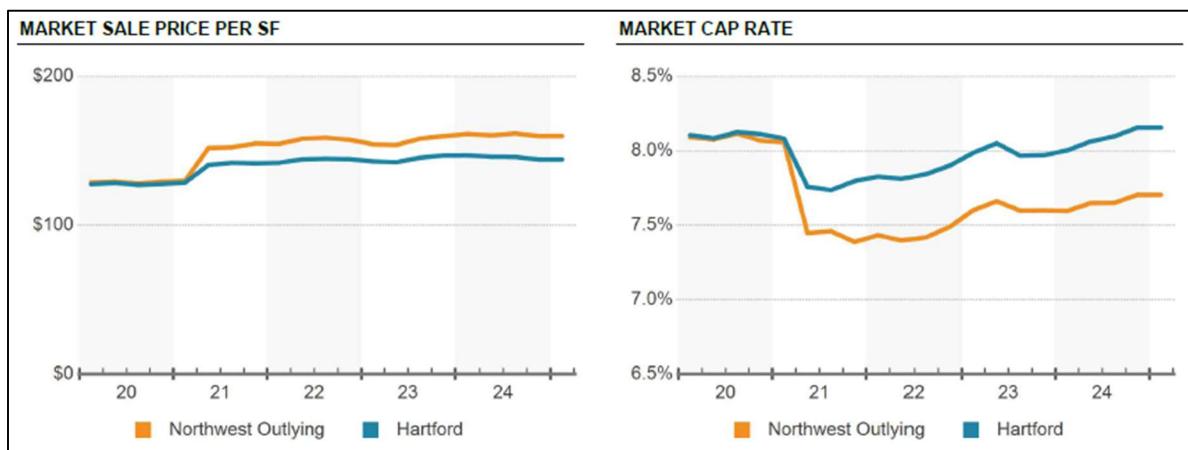
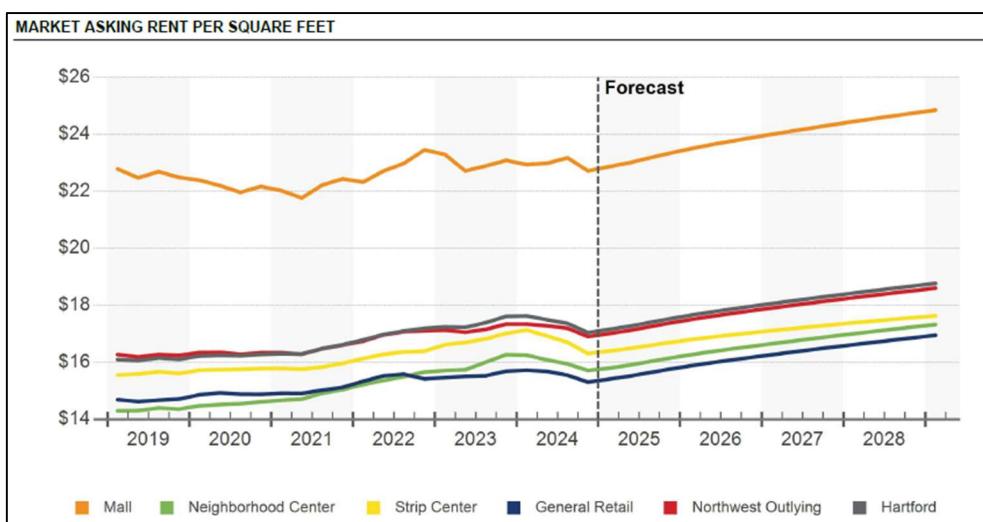
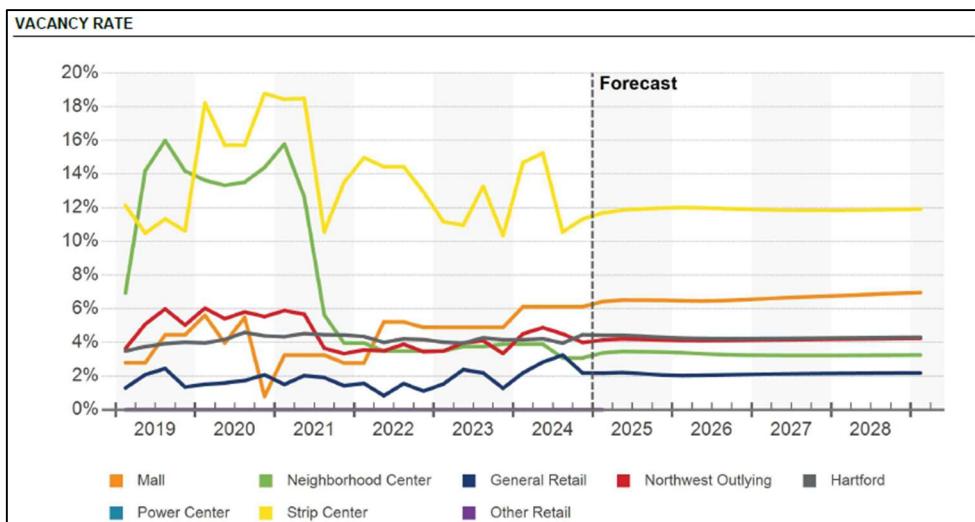
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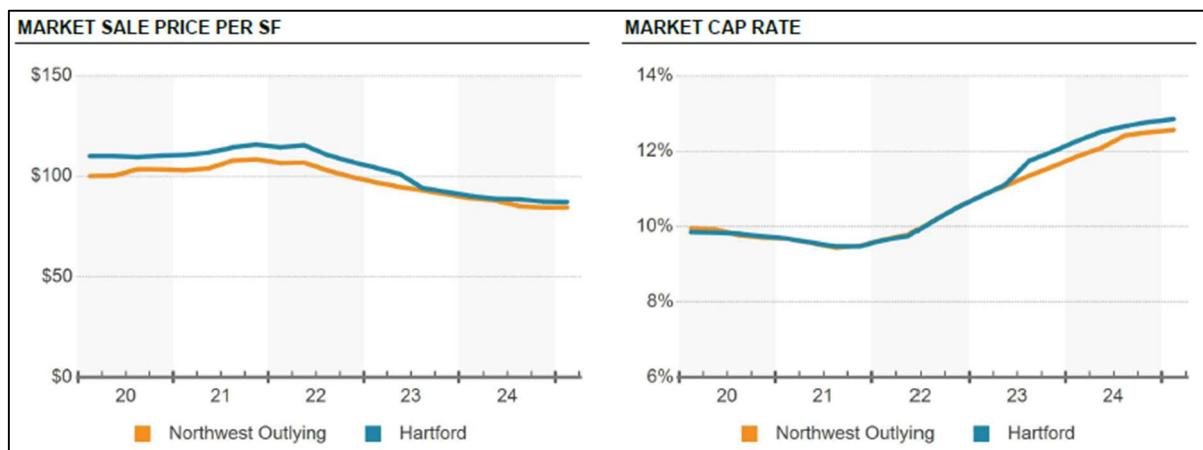
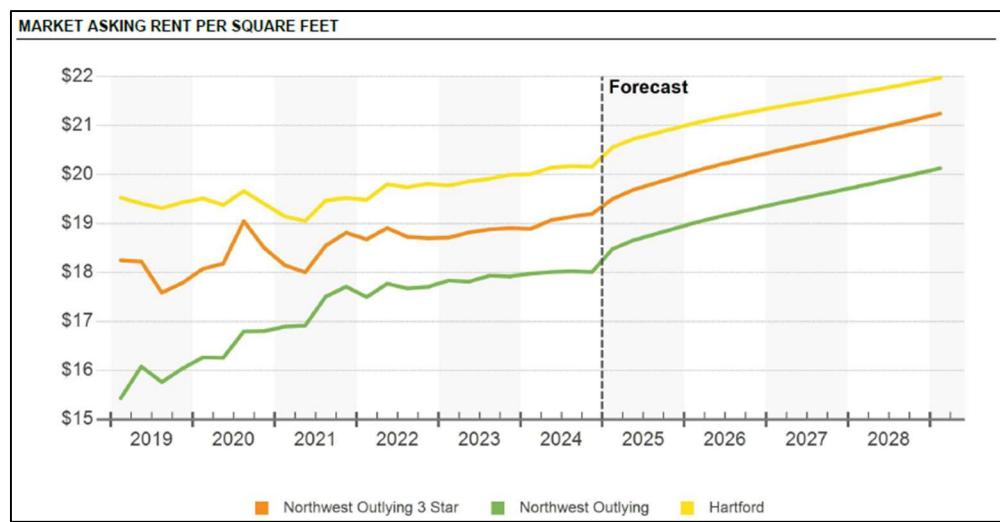
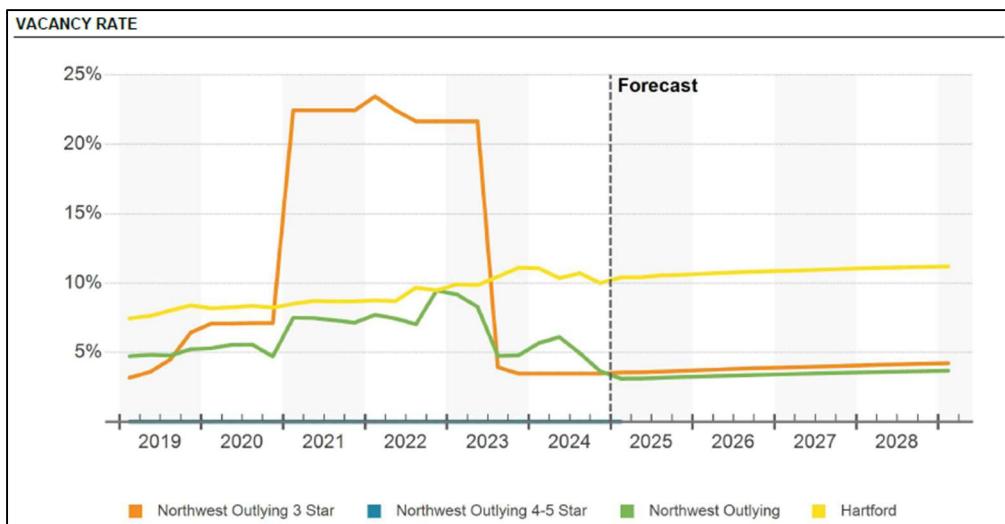
Page | 10

COMMUNITY DATA

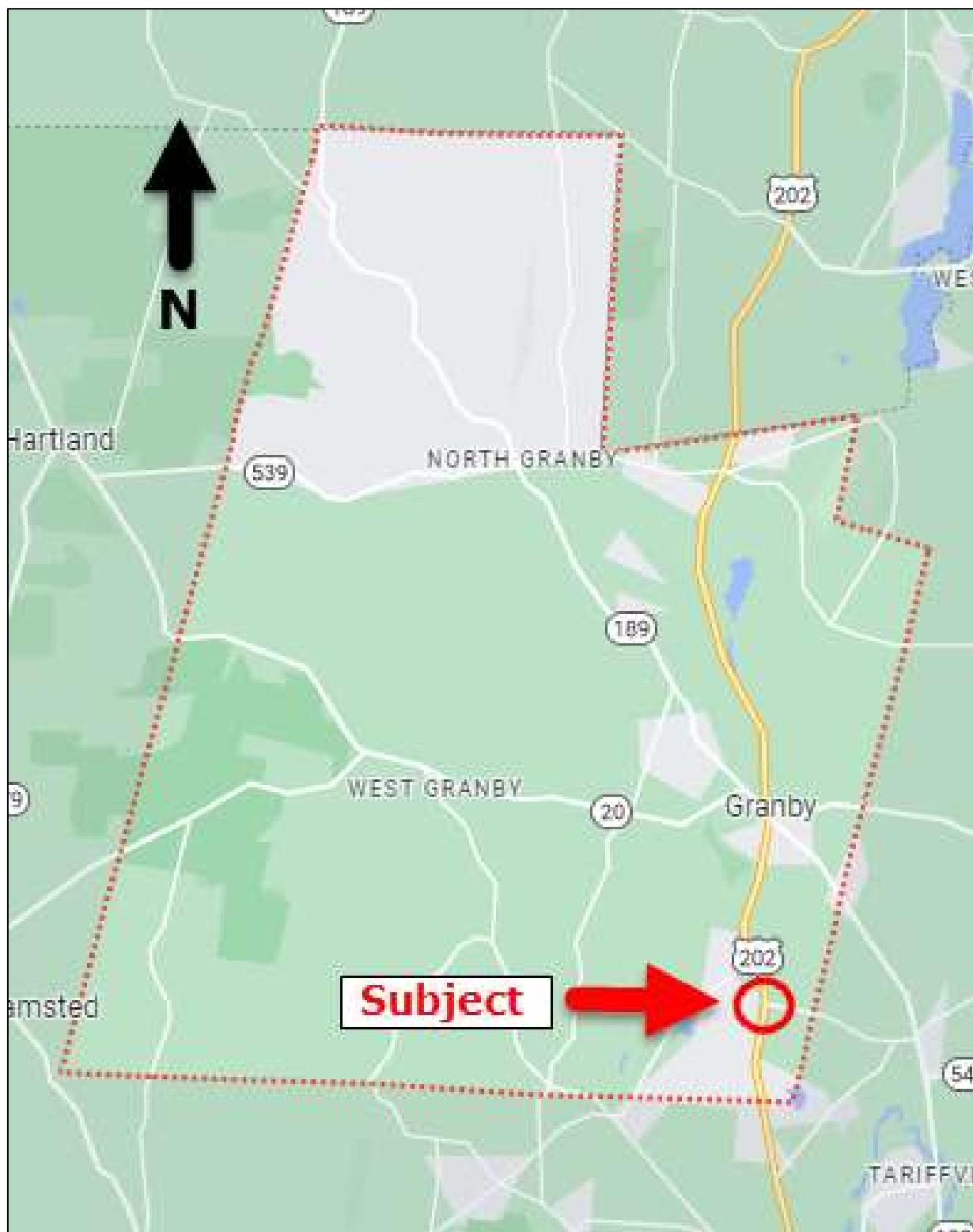
Location	The Town of Granby is located in Hartford County in northern Connecticut. Granby is bordered on the north by the Connecticut-Massachusetts state line, on the east by Suffield and East Granby, to the south by Canton and Simsbury, and on the west by Barkhamsted and Hartland. The town is part of the Capitol Planning Region. Granby is a rural town, and it contains a total land area of approximately 41 square miles. The town is governed by a Charter and operates under a Selectmen/Manager form of government.
Households	Granby has a total of 4,433 housing units according to the 2024 Town Profile conducted by Advance CT and CT Data Collaborative. Of this amount, 91% are reported to be owner occupied. The median home price reported by the Multiple Listing Service (MLS) for the past 12 months is \$459,900 with 151 homes sold and 7 currently listed. This reflects a 0.56-month supply of existing homes. The prior year there were 133 homes sold with a median sale price of \$420,000. This reflects a 9.5% increase in sale prices over the year.
Highway	Granby is not directly served by interstate highways. Major arterials in town include Route 202 traveling north-south through the eastern side of town, Route 189 traveling northwest-southeast traveling diagonally across town, and Route 20 traveling east-west through the center of town.
Population	Granby had a total population of 11,041 persons per the July 1, 2022 census. The 2024 town profile indicates that the town has a total population of 10,972 persons.
Population & Employment	According to the Connecticut Department of Labor (CT DOL), the unemployment rate as of November 2024 was 2.0%, which was lower than the 2.7% rate experienced by Connecticut state-wide. Key employers in Granby include Meadow Brook Nursing Home, Monrovia/Imperial Nurseries, Arrow Concrete Products Inc., State Line, and Stop and Shop. The town acts as a suburb community to the Greater Hartford workforce.
CoStar Data	CoStar is a database service that tracks commercial property sales and rental data. The Town of Granby is included in the Northwest Outlying market report. According to CoStar, the overall retail vacancy rate is 3.9%, which is below the five-year average of 4.4%. Rents are reported to have decreased 2.5% over the past 12 months to about \$16.90/SF. Retail rents have reportedly increased an average of 1.0% annually over the past five years. The CoStar report states that retail properties trade for around \$160/SF. The overall capitalization rate for retail properties is about 7.7%.
	The overall vacancy rate for office space is 3.0%, lower than the five-year average of 6.3%. Office rents increased about 1.3% to around \$18.20/SF. Office properties trade around \$84/SF. The reported capitalization rate for office space is 12.6%. Graphs supporting these trends, as provided by CoStar, are outlined on the following page.



COMMUNITY DATA, CONTINUED**COSTAR DATA - RETAIL**

COMMUNITY DATA, CONTINUED**COSTAR DATA - OFFICE**

NEIGHBORHOOD LOCATION MAP



Extracted from Google Maps Using Snag-It / Not to Scale



NEIGHBORHOOD DESCRIPTION

The appraised property consists of a 1.50 +/- acre site located along the westerly side of Salmon Brook Street in the Town of Granby, Connecticut. The neighborhood is a mix of commercial, residential, and agricultural properties located in the southeastern quadrant of town. Abutting properties include a parcel of land then the Farmington Valley YMCA to the north, agricultural land to the east, a new apartment complex called The Grand and single-family dwellings to the west and a residential dwelling to the south. The Farmington Canal Heritage Trail travels along the eastern side of Salmon Brook Street and continues easterly along the northern side of Floydville Road which is across from the subject property.

The land use pattern of the neighborhood consists of commercial, residential, and agricultural land. In general, properties in the area are maintained in average condition considering their age and use. Owner occupancy in the area is common and vacancy is low. According to the Connecticut Department of Transportation (CT DOT), the traffic count on Salmon Brook Street is 8,000 +/- vehicles daily. Overall, the commercial use of the subject is consistent with the land use pattern of the neighborhood.

Neighborhood Land Use Pattern



Extracted from Google-Earth Using Snag-it / Not to Scale



ZONING

Zone Classification T1 – Commercial Transition: “The transitional zone is created in recognition of the commercial growth that is occurring in this area, the relocation of the Canton Road intersection, the availability of public water and public sewer and the Town’s overall success in limiting curb cuts and managing traffic flow within the overall area.”

Permitted Uses

According to Section 3.10.1 of the Granby Zoning Regulations, the following uses are permitted in the T1 – Commercial Transition zone:

- Single Family Dwellings;
- Home Occupations (subject to Section 8.8); and
- Accessory uses customarily incidental to permitted uses (subject to Section 8.1)

Special Permit Uses

According to Section 3.10.2 of the Granby Zoning Regulations, the following uses are permitted with a special permit:

- Commercial educational facilities, including day care centers for six (6) or more people with a valid State license;
- Bed-and-breakfast facilities, inns and motels;
- Business or professional offices, including financial institutions and/or office parks;
- Commercial recreational facilities, including health clubs, indoor and outdoor recreational complexes and all associated fields, courses, buildings and equipment;
- Restaurants, subject to Section 8.16;
- Retail sale, rental and/or repair of items such as food, clothing, hardware, garden supplies, jewelry, electronics, appliances, books, sporting goods, nursery items, home improvement products and general merchandise;
- Personal services, including, but not limited to barbershops, beauty shops, cleaning establishments, nail salons and appliance and other general repair shops, excluding automobile repair;
- Nursing homes with a maximum density of 15 beds per acre;
- Elderly housing with a maximum density of 10 units per acres;
- Active Adult Residential Development, in general conformity with the standards set forth in Section 8.27.3, except where such standards are in conflict with the T1 Zone Criteria of Section 3.10.3;
- Assisted living facilities, independent living facilities, multi-family residential developments and similar residential uses with a maximum density of 8 units per acre; and
- Accessory uses customarily incidental to principal uses.

Special T1 Zone Criteria

Section 3.10.3 of the Granby Zoning Regulations outlines the special requirements for properties in the T1 – Transit Commercial zone.



ZONING, CONTINUED**Dimensional Requirements**

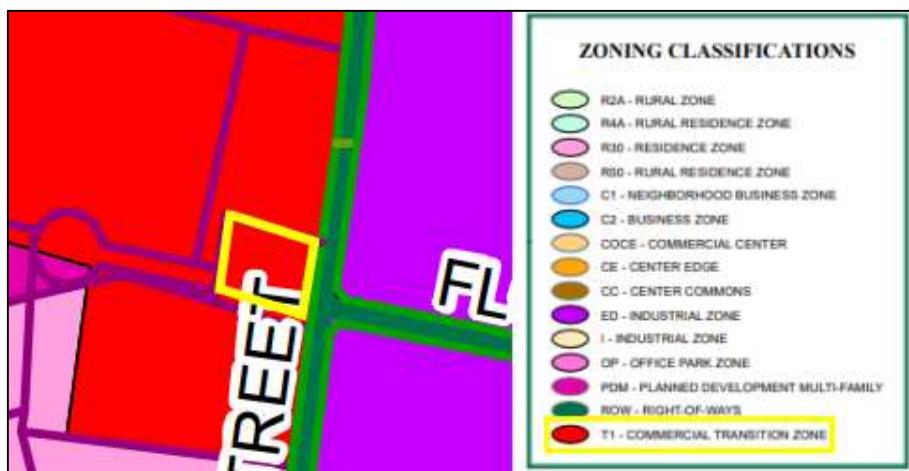
Section 5 of the Granby Zoning Regulations outlines the dimensional requirements and is extracted into the table below.

Dimension	Required	Provided
Minimum Lot Area	30,000 SF	65,443 +/- SF
Minimum Lot Frontage	150 feet	228 +/- feet
Minimum Lot Depth	200 feet	200 +/- feet
Minimum Front Yard	50 feet	40 +/- feet
Minimum Side Yard	20 feet	40 +/- feet
Minimum Rear Yard	30 feet	Adequate
Max. Building Coverage	20%	+/- 3.5%
Maximum Building Height	30 feet, or 2.5 stories	2 stories

Parking Requirements

Section 7.4.1 of the Granby Zoning Regulations provides the parking requirements. For example, restaurants must have 8 parking spaces per 1,000 SF, which is the largest requirement for uses that are permitted in the T1 – Commercial Transition District. The minimum number of spaces at the subject property that would satisfy this requirement would be 19 parking spaces ($2,288 +/- \text{ SF} / 1000 = 2.288 \times 8 \text{ spaces} = 18.3$, rounded up to 19 spaces). The subject has 30 +/- on-site parking spaces indicating it conforms to the parking requirements for the various potential uses.

Conclusion: The subject is believed to be in substantial compliance with the requirements of the T1 – Commercial Transition District, as the Town of Granby has permitted commercial businesses to operate at the subject property, and an assumption is made that similar uses of the subject can continue as a matter of right. In lieu of a legal opinion, an assumption is made that non-compliance with specific bulk requirements of the T1 – Commercial Transition District, if any, would not have a significant effect on the nature and intensity of the highest and best use of the subject.

Zoning Map

ASSESSMENT/TAXES**Assessment Ratio**

70%

Tax Map

Map I-51, Lot 83-17

Last Revaluation: 2022**Parcel ID:** 1-2-83 (Vision ID: 4355)**Mill Rate**

33.13

Land Assessment

\$138,810

Building Assmt.

\$110,460

Other Assessment\$ 16,730**Total Assessment**

\$266,000

Tax Liability

\$ 8,813

Per SF

\$116.26

(GBA = 2,288 +/- SF)

\$3.85

A town-wide property revaluation was completed as of October 1, 2022. The assessment of the subject property increased about 16% from \$229,110 to its current assessment of \$266,000. The assessment is 70% of the Granby Tax Assessor's, which is \$380,000. As this is above the market value estimated in this appraisal, it is an ***Extraordinary Assumption*** that the subject property is, and will remain, equitably assessed. The current mill rate is 33.13, reflecting a tax liability of \$8,812.58. However, taxes are not required to be paid for the subject, because it is owned by the Town of Granby. The Town of Granby undergoes a revaluation every five years; therefore, the next revaluation is scheduled to take place on October 1, 2027. A copy of the current tax bill and Town Tax Assessor's Field Card are included in the Addenda.

Assessor's Tax Map

Extracted from the Town of Granby GIS Using Snag-It / Not to Scale



SITE DATA**PHYSICAL FEATURES**

		SITE IMPROVEMENTS		
Land Area AC	1.50 +/- acres	Fence/Other	None	
Land Area SF	65,443 +/- SF	Utilities	Water: Yes	Gas: Yes
Paved Area	14,656 +/- SF		Sewer: Yes	Phone: Yes
# Parking Spaces	30 +/- spaces		Electricity: Yes	
Frontage, Shape, Soils & Topography	<p>The subject land has 228 +/- feet of frontage on the westerly side of Salmon Brook Street and 200 +/- feet of frontage on the northern side of Murtha's Way. The parcel has an irregular shape and continues onto the southern side of Murtha's Way. The topography rises slightly above the grade of Salmon Brook Street, then levels out where the improvements and parking lot are. The driveway on the western side of the building is elevated higher than the grade of the building and improvements. The land on the western property line rises above the grade of the driveway, then slopes downward to the detention basin. The land along the northern property line starts to decline into a detention basin on the northern abutting property. The groundcover is average with typical landscaping plant material around the deck. The eastern property line has a line of various trees. There is 14,656 +/- SF of paved parking area, providing 30 +/- parking spaces. According to the United States Department of Agriculture (USDA) Natural Resource Conservation Service (NRCS), the soils are 86.5% Merrimac fine sandy loam (0-3% slopes) and 13.5% Hinckley loamy sand (3-15% slopes). The subject is located over an aquifer protection overlay zone. The detention basin on the western side of the lot, the sandy soils, and the topography of the land result in water leaching into the basement. The property occupant stated that there is often water in the basement and the water is removed with a sump pump. Dampness was noted in the front section of the basement at the time of the inspection. This factor reduces the utility of the basement. We did not find mapped wetland soils. The presence or absence of wetland soils, however, must be determined by a qualified soil scientist and the determination of soil types is not within the scope of ordinary appraisal practice.</p>			
Situs	<p>The building has a normal setback and has ordinary visibility and accessibility for a commercial use. The building façade is parallel to the street maximizing tenant exposure. There was previously a sign on the eastern side of the property to enhance tenant exposure. The property is near the Farmington Canal Heritage Trail which provides exposure to the traffic on the walking trail.</p>			
Land Coverage	Building: +/- 3.5%, Impervious: +/- 24.4%			
Land Ratio	1 SF of GBA per 28.60 +/- SF of land area			
Unused Land	<p>The subject property has an ordinary amount of land relative to the size of the existing building in the Granby market area. The northern side of the site is used for parking. There is an entrance driveway on the west side of the building, and Martha's Way is on the south side. Because of this layout, there is no excess or surplus land.</p>			

SITE DATA, CONTINUED

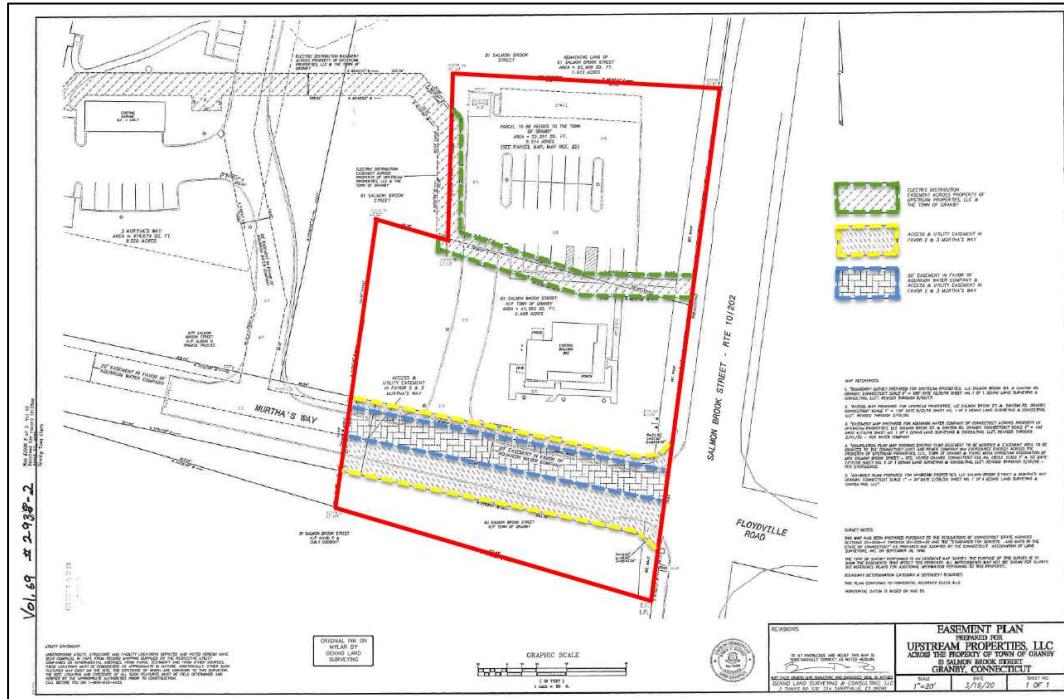
Easements On April 13, 2018, a perpetual easement and right-of-way was granted to Connecticut Natural Gas Corporation, as recorded in Volume 425, Page 989 of the Granby Land Records.

The Town of Granby granted an easement to Upstream Properties LLC to pass and repass and design, construct, lay, inspect, use, operate, repair, alter, replace, remove, protect, maintain, improve and install signage and underground or overhead utility lines, including but not limited to, electrical, gas, and gable lines, storm sewers, sanitary sewer and water lines and all appurtenances thereto over 83 Salmon Brook Street. The easement is dated September 17, 2018 and is recorded in Volume 427, Pages 859 & 868 of the Granby Land Records.

On September 18, 2018, an electric distribution easement in favor of The Connecticut Light and Power Company d/b/a Eversource Energy was granted as recorded in Volume 427, Page 1069 of the Granby Land Records.

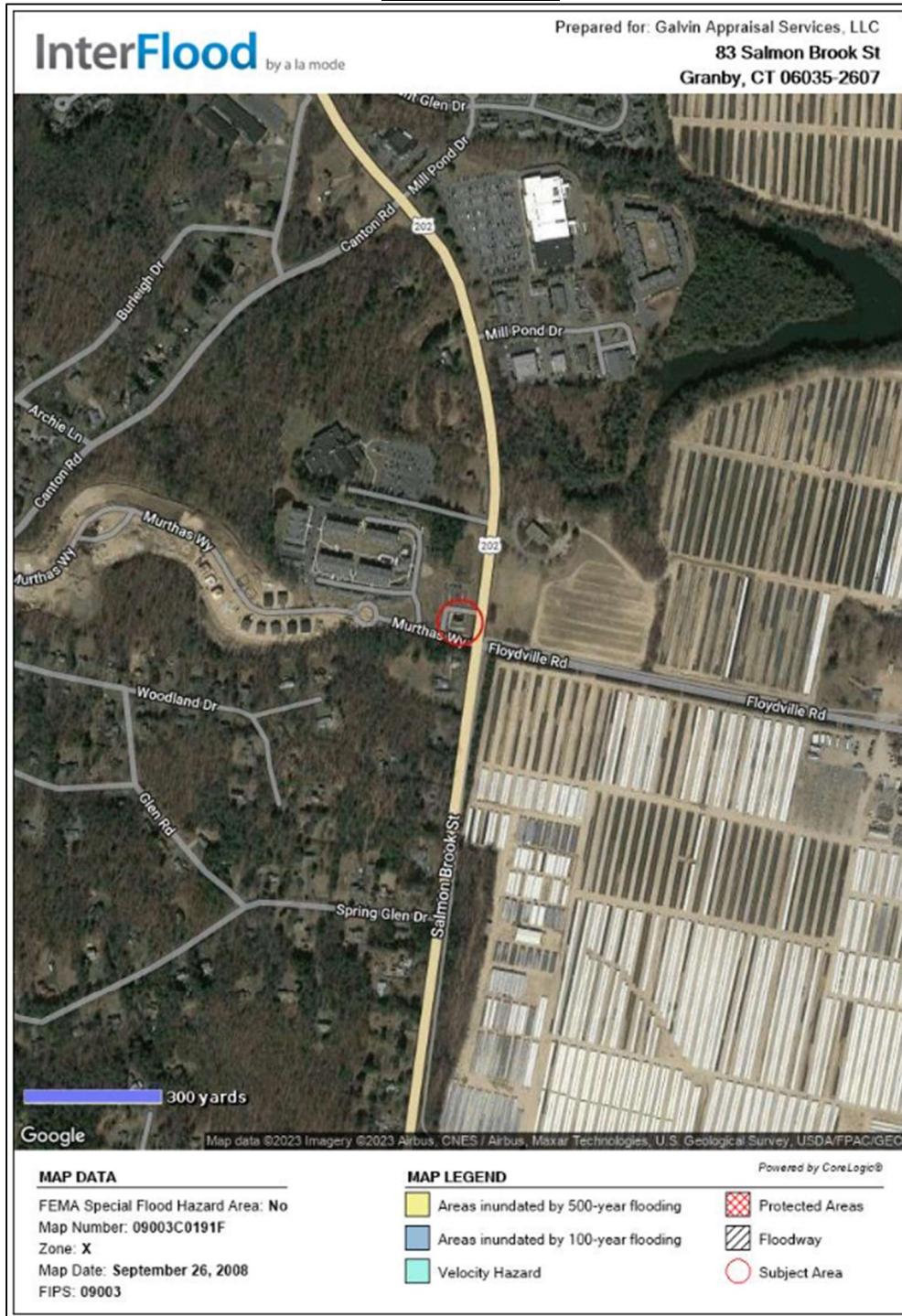
On December 18, 2018, Upstream Properties LLC agrees to perform maintenance on the stormwater management facilities to ensure that the facilities are maintained in proper working condition to meet design standards. The agreement is recorded in Volume 428, Page 1134 of the Granby Land Records.

The map below (Map 2938-2 of the Granby Land Records) outlines the subject property with a solid red line, the electrical easement in a dashed green line, the access and utility easement in a dashed yellow line, and the water easement with a dashed blue line.



SITE DATA, CONTINUED

Flood Zone	Community Panel	09003C0191F
	FIRM Date	September 26, 2008
	Flood Zone	Flood Zone X (not prone to flooding)

FLOOD MAP

BUILDING DATA

The subject building was originally constructed in 1905. It is built of wood framing, has a vinyl sided exterior, and a gable asphalt shingle roof. The building is two-stories and contains a total of 2,288 +/- SF of GBA and 2,288 +/- SF of NRA. The first floor is vacant commercial space that is finished with hardwood and tile flooring, sheetrock walls, and sheetrock and tile ceiling with recessed lighting fixtures. The second floor is vacant and could be used for commercial / office space. It is finished with hardwood, carpet, and tile flooring, sheetrock walls, and sheetrock ceilings. There is a 684 +/- SF unfinished basement with a concrete and masonry foundation. The building is heated with gas and the majority of the building is air conditioned with window unit A/C. However, a portion of the first floor is heated with a split-unit A/C. The eastern and southern side of the building have a deck with an overhang.

ADDRESS: 83 Salmon Brook Street

# of Buildings	One	Gross Area	2,288 +/- SF
Building Type	Commercial	Rentable Area	2,288 +/- SF
Year Built	1905	Occupied Area	Vacant
Actual Age	118 years	Stories	Two
Effective Age	20 years	Units/Tenancies	One
Expected Life	35 years	Finished Area	100%
Building Use	Vacant	Footprint Area	1,324 +/- SF

CONSTRUCTION TYPE & BUILDING FEATURES

Framing	Wood	Wall Height	8'
Column Grid	Typical	Siding	Vinyl
Foundation	Masonry	Fenestration	Thermal Pane
Basement	Unfinished	Access Doors	Various
Roof Type	Gable	Docks	None
Roof Cover	Asphalt	Drive-in Doors	None
Gutters / Drains	Aluminum	Monitor	None
Insulation	Typical	Building Access	Handicap Accessible

INTERIOR & MECHANICAL SYSTEMS: FINISHED AREA

Floors	Wood & Carpet	Heat	Gas
Partitions	Sheetrock	Air Conditioning	Window Unit
Ceilings	Sheetrock & Tile	Distribution	Baseboard
Trim & Finish	Average	Hot Water	Rheem
Fixtures	Typical	Electric Service	200-amp
Rest Rooms	One Full, One Half	Wiring	Conduit
Basement Finish	Unfinished	Lighting	Various
Security	Personal Property	Plumbing	PVC & Copper
Fire/Sprinkler	None	Elevator	None

UNFINISHED AREA

There is no unfinished building area included in the GBA. The basement is the only unfinished area.

BUILDING DATA, CONTINUED**USE OF SPACE**

Floor Plan: The northern side of the building is a one-story 360 +/- SF partitioned area that includes an updated restroom. There is more finished space on the first floor to the south of the addition. There is one step up to access the western side of the building is where there was previously a kitchen. The stairs to access the second floor are provided on the step up that separates the eastern and western sections. On the western side of the second floor there are two additional steps up that lead to an office area. The eastern side of the second floor consists of two more rooms. The full bathroom is located on the northern side of the second floor.

The breakdown of space in the building by current use type is as follows:

First Floor	1,324 +/- SF	58% of GBA
Second Floor	964 +/- SF	42% of GBA
Basement (excluded from GBA)	684 +/- SF	0% of GBA

**Condition,
Deferred Repairs
& Replacements**

The building has been maintained as needed and has an average cosmetic appearance for its age and use. The finished areas are in average condition. The addition on the northern side of the building was completed in 2014. The mechanical systems appear to be in working order. It is our understanding that the previous tenant has completed work to the building over the years. The work completed by the previous tenant includes installing support beams, updating the electrical service, installing a sump pump, installing a water heater, updating the furnace, chimney work, plumbing work, etc. There is no significant deferred maintenance. However, based on the topography of the land and soils on the site, water tends to flood into the basement. There is also a crack in the foundation that likely enhances the amount of water that can enter the basement. This appraisal is based on the ***Extraordinary Assumption*** that the basement flooding is remediated or will be remediated in the near future.

**Functional
Utility**

The subject building appears to have originally been built as a house that has been converted to commercial use. It is constructed of average-quality materials for its age and use; however, there are functional flaws in the design of the building for its commercial use. There are several steps in the floor levels that impact the pedestrian flow of the space. For example, there is one step from the eastern side to the western side of the first floor. These factors are considered typical for an older improvement like the subject.

**Accessory
Buildings**

There are no accessory buildings; however, there is a freezer that was intended to be converted to a cooler on the northwestern side of the building. It is our understanding that during the conversion, the cooler/freezer was not properly converted and no longer is in working condition.

**Personal
Property**

The value estimate does not include any contributory value associated with any personal property, trade fixtures or furniture, fixtures and equipment (FF&E). For example, any remaining equipment is considered personal property. Any contributory value it may have, if any, is not included in the value estimate.



BUILDING DATA, CONTINUED**Conclusion**

Overall, the subject is a former residential building converted to a commercial use. It is built of average quality materials considering its age and use. There are, however, functional flaws in the design of the building, as evidenced by the several small steps into different areas of the building. There are no major items of deferred maintenance; however, the basement tends to flood, which is likely enhanced by a crack in the foundation. Therefore, this appraisal is based on the ***Extraordinary Assumption*** that the basement flooding is or will be remediated in the near future.

HIGHEST AND BEST USE

Highest and Best Use Defined: *"The reasonably probable use of property that results in the highest value. The four criteria that the highest and best use must meet are legal permissibility, physical possibility, financial feasibility, and maximum productivity".*

Source: [The Dictionary of Real Estate Appraisal](#)
Seventh Edition, 2022; Appraisal Institute

Highest and Best Use Explained: The use for a property can be analyzed as improved, or as if vacant, even though it is improved. Alternatively, the probable use of land or improved property-specific with respect to the user and timing of the use- that is adequately supported and results in the highest present value (*Fifth Edition, 2010: Appraisal Institute – The Dictionary of Real Estate Appraisal*). It can also be in reference to the use of an asset, which is typically determined by market participants. The Uniform Appraisal Standards for Federal Land Acquisitions defines highest and best use as the most profitable use for which the property is adaptable and needed or likely to be needed in the reasonable near future (page 22, Section 1.4.4. 2016 edition).

Source: [The Dictionary of Real Estate Appraisal](#)
Fifth Edition, 2010; Appraisal Institute

Land As Vacant

The highest and best use 'if vacant' would be for commercial development that would be financially feasible, legally permissible given zoning, physically possible and conform to the surrounding land use pattern.

As Improved

The highest and best use 'as improved' is to continue the commercial use at stabilized occupancy. This is based on the ***Extraordinary Assumption*** that the basement flooding is or will be remediated in the near future.

SALE HISTORY**Sale History
(3 Years)**

The last sale of the subject property occurred on August 3, 2011 at a price of \$90,000. This transfer does not provide acceptable evidence of value under current market conditions. This conveyance was from Deutsche Bank National Trust Company on Behalf of the Owners of the Accredited Mortgage Loan Trust 2004-4 Asset Backed Notes, acting herein by Select Portfolio Servicing Inc., its Attorney-in-Fact to the Town of Granby.



SALE HISTORY

Sale History (3 Years)

On April 1, 2020, Upstream Properties LLC conveyed the northern 0.51 +/- acres to the Town of Granby for no consideration. This conveyance is recorded in Volume 436, Page 1066 of the Granby Land Records.

Current Listing or Contract for Sale The subject property is not known to be listed for sale. No broker's sign was on the premises at the time of inspection.

VALUATION PREMISE

Approaches Used

Cost Approach: The Cost Approach is not applicable to the valuation of the subject property due to the subjectivity required to estimate total accrued depreciation associated with the age of the building.

Sales Comparison Approach: The size of the subject building is small enough to appeal to owner-occupants, and it has a history of rent production. The Sales Comparison Approach incorporates the motivations of both investors and owner-occupants, and it is developed in this appraisal.

Income Capitalization Approach: The subject is demised for single tenant occupancy and has a history of generating rental income. Therefore, the Income Capitalization Approach was developed in the course of this appraisal.

Valuation Issues

There were no adverse valuation issues faced in the development of this appraisal report.

Marketability

As will be evident by the comparable sales and rents used in the valuation analysis, the subject is considered readily marketable if priced in line with current market conditions, as is. The amount of work required is significant enough to have an effect on price, but it would not cause buyer resistance.

Market Exposure

The valuation is predicated upon marketing and exposure periods of 6-12 +/- months.



SALES COMPARISON APPROACH

A search for commercial property sales was conducted in Granby and competing communities. Some of the more important property features considered when selecting sales for comparison included:

- a building of reasonably comparable size,
- a commercial building of comparable effective age,
- transactions that occurred under market conditions that were reasonably similar to the prevailing conditions as of the November 18, 2024, valuation date, and
- location within a relevant market area.

Five recent sales that meet the above criteria for commercial buildings were selected from transfers in Granby and other communities in the general area. The sales used in the comparison analysis are listed in **Exhibit I** on page 30. Sales that occurred more than two years before the November 18, 2024 effective valuation date were not considered for the study. See page 29 for a map showing the comparable sales locations and page 31 for the profiles of the individual sales.

Method of Comparison	A quantitative adjustment method has been employed to account for the differences between each sale and the subject property. <ul style="list-style-type: none">• Direction of Adjustments: Where a sale property is inferior to the subject, an upward adjustment is made. A downward adjustment is made where a sale property is superior to the subject.• Modes of Adjustment: Adjustments for financing, property rights, conditions of sale, work required to place in service, and market conditions are sequential and cumulative. Adjustments for location and physical differences are made to the cumulatively adjusted unit sale price. The adjustments are primarily market derived. Where adjustments cannot be extracted from market data they are based on experience and judgment.• Extraordinary Assumption(s): None are required other than what has already been discussed.• Unit of Comparison: The primary unit of comparison relied upon in this section is the price paid per SF of GBA, land included. Adjustments are made to the unit price of each studied sale.
Cumulative Adjustments:	The cumulative adjustments are made to the comparable sales first, which include adjustments for differences in <i>Property Rights Conveyed, Financing Concessions, Conditions of Sale, Immediate Work Required</i> , and changes in market conditions (i.e., <i>Date of Sale</i>). Sale 1 is adjusted upward for its date of sale. Sale 2 is adjusted downward to reflect that it was fully leased at the time of sale. Sale 5 is also adjusted upward for the date of sale.
Direct Adjustments:	Sale 4 is adjusted downward to reflect its superior location compared to the subject. The other four sales are in comparable locations; thus, no adjustment is needed.



SALES COMPARISON APPROACH, CONTINUED

Direct Adjustments, continued:

After adjusting for everything but size, it is evident that Sales 1, 2, 3, and 5 are larger and require respective upward adjustments. This adjustment is based on the *Theory of Diminishing Returns* - smaller buildings tend to sell for more per building area than larger buildings, all else being equal.

The subject has an estimated effective age of 20 years based on the condition and updates made to the building in recent years. This is based on the ***Extraordinary Assumption*** that the basement flooding is or will be remediated in the near future. All five of the comparable sales are adjusted according to their respective effective ages. This adjustment considers that a separate line-item adjustment is applied for differences in physical condition.

The subject is considered to be in overall average condition for its age and use. Sale 1 is adjusted upward to reflect that it was in tired condition at the time of sale. Although the building is structurally sound, the interior has not been updated in many years and needs cosmetic renovations. Sale 4 is slightly adjusted upward for its inferior condition at the time of sale. Sale 5 is also adjusted upward to reflect that it was in below average condition.

The adjustment for difference in HVAC is based on cost. The adjustment amount used for air-conditioning is \$5.00/SF. This figure is the amount perceived by market participants and consider depreciation and the cost of installation/removal of the items. For example, the subject is not air-conditioned, whereas Sale 2 is fully air-conditioned. Thus, this sale is adjusted downward 3.8% ($\$5.00 / \$131.58 = 0.038$ or 3.8%). This adjustment also applies to Sales 3, 4, and 5 because they are also fully air-conditioned.

The adjustments for differences in land-to-building ratios considers the land is surplus and may contain wetlands. Sales 2, 3, and 4 are respectively adjusted upward to reflect that they have smaller land-to-building ratios than the subject. Sale 5 is adjusted downward for its larger land-to-building ratio.

Sale 1 is adjusted upward further to reflect that this sale consists of two buildings. Sales 2 and 4 are adjusted downward to reflect that they have finished lower levels. The finished lower levels are excluded from the GBA but are considered to be a special feature of the property that enhances the utility of the building.

The sales, once adjusted, are displayed in the ranking chart on the following page.



SALES COMPARISON APPROACH, CONTINUED**RANKING CHART**

Sale #	Address	Unadjusted \$/SF	Net Adjustment	Adjusted \$/SF
Sale 3	234 Main St, New Hartford	\$110.13	15.5%	\$127.15
Sale 4	10 Pine St, Plainville	\$145.32	-10.9%	\$129.42
- Indicated Unit Market Value of the Subject Property Relative to Adjusted Sales -				
Sale 2	101 River Rd, Canton	\$131.58	-1.3%	\$129.87
Sale 5	32 Rainbow Rd, East Granby	\$114.92	13.1%	\$130.03
Sale 1	254 Salmon Brook St, Granby	\$95.78	37.5%	\$131.70

The sales are ranked by their *adjusted* sale price per SF in the ranking chart above. The chart shows that the adjusted unit prices of the studied sales bracket the market unit value of the subject property. That is, when adjusted to equivalency with the relevant characteristics of the subject property, some sales required a net downward adjustment, and some required a net upward adjustment.

Additional Sale: We also considered the sale of 34 East Granby Road, Granby, which sold on May 18, 2023 for consideration of \$230,000, as recorded in Volume 460, Page 114 of the Granby Land Records. This two-story Cape Cod-style dwelling contains 1,204 +/- SF with three bedrooms and one full and one-half bathroom. The building is heated with oil and has central air-conditioning. It reportedly has been updated with a new furnace, siding, windows, etc. The property is located in the CC – Center Commons zone but is currently used as a residential dwelling. This sale is excluded from the analysis because it was not confirmed with a party of the transaction. However, it is still considered in our analysis. This sale reflects a sale price of \$191/SF and would likely be adjusted downward for its size and condition.

Additional Sale: Another recent sale is 28 East Granby Road, Granby. It is a 0.47 +/- acre site that is improved with a 1,609 +/- SF dwelling that was constructed in 1937. It is built of wood framing, a vinyl exterior, and a gable asphalt shingle roof. There are four bedrooms and two full bathrooms. The property is located in the CC – Center Commons zone but is used as a residential dwelling. The property sold for \$285,000 on June 28, 2023 and is recorded in Volume 460, Page 975 of the Granby Land Records. The property was reported updated with a new kitchen and flooring, walls, ceiling, bathroom, newer roof, and cosmetic updates. This sale is considered but is not included in the analysis because we were unable to confirm the sale with the party of the transaction. The property sold for \$177.13/SF and would likely be adjusted downward to reflect the size and condition of the building.

Additional Sale: 381 Salmon Brook Street, Granby is a 0.93 +/- acre site that is improved with a 2,734 +/- SF mixed-use building that was constructed in 1840. It is a two-story building that is constructed of wood framing, a vinyl exterior, and a gable asphalt shingle roof. The building appears to be maintained as needed. The majority of the building is used as a residential unit; however, there is about 884 +/- SF of commercial space on the rear, western side. The property sold for \$394,900 on June 3, 2024, reflecting a sale price of \$144.44/SF. This sale is excluded from the analysis because we were unable to confirm the details with a party of the transaction; however, it is still considered. If the sale were used in the comparison analysis, it would likely be adjusted downward to reflect that it is a mixed-use property that is fully air-conditioned and has been updated in more recent years.

SALES COMPARISON APPROACH, CONTINUED

Additional Sale: Another recent sale considered is 281 Salmon Brook Street, Granby. It is a 0.55 +/- acre lot that is improved with a 1,744 +/- SF two-family dwelling that was built in 1767. It is built of wood framing, a vinyl exterior, and a gable asphalt shingle roof. The building appears to have been well maintained and has various updates in recent years. The property was listed for \$369,900 and sold for \$391,000 after about a week of being openly marketed. This reflects a sale price of \$224.20/SF. We were unable to confirm the sale with a party of the transaction as of the date of this writing. Although the property is a two-family residential dwelling, it is located in the CC – Center Commons zone, which could allow commercial uses with a special permit. Thus, the sale is still considered in our analysis. If the sale were included, it would likely be adjusted downward to reflect its superior condition and smaller size compared to the subject property.

Indicated Unit Value The value range of the subject property that is indicated by the adjusted sales data ranges from \$127.15 to \$131.70 per SF with an average adjusted unit sale price of \$129.63 per SF. This reflects a rounded adjusted low of \$290,000, a rounded adjusted high of \$300,000, and a rounded adjusted average of \$295,000. Overall, a value near the middle of the range, or \$300,000, is concluded.

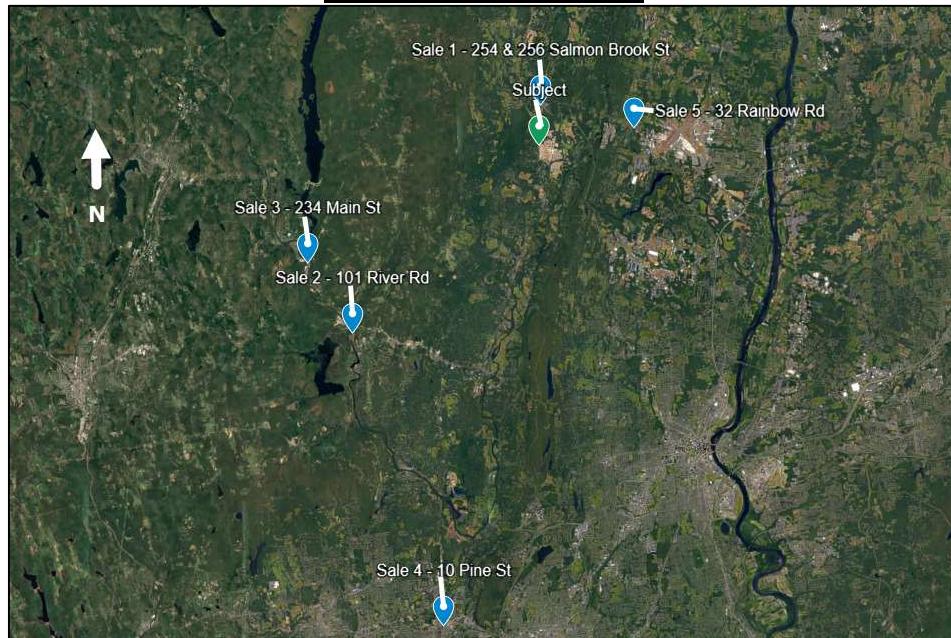
VALUE CALCULATION

Minimum:	2,288 +/- SF	@	\$127.15/SF	=	\$290,930
Average:	2,288 +/- SF	@	\$129.63/SF	=	\$296,604
Maximum:	2,288 +/- SF	@	\$131.70/SF	=	\$301,323

Rounded to:

**INDICATED FEE SIMPLE MARKET VALUE
VIA SALES COMPARISON APPROACH\$300,000**

Comparable Sales Map



Extracted from Google Maps Using Snag-It / Not to Scale



SALES COMPARISON APPROACH**EXHIBIT I****SUMMARY OF ADJUSTMENTS**
83 Salmon Brook Street, Granby

ADDRESS	SUBJECT	IMPROVED SALE #1	IMPROVED SALE #2	IMPROVED SALE #3	IMPROVED SALE #4	IMPROVED SALE #5
TOWN	83 Salmon Brook St Granby Map I51, Lot 83-17	254 Salmon Brook St Granby Map G51, Lots 78-60 & 78-61	101 River Rd Canton Map 30, Block 449, Lot 101	234 Main St New Hartford Map 44, Block 137, Lot 12	10 Pine Street Plainville Map 24, Block M, Lot 13B	32 Rainbow Rd East Granby Map 12, Lot 41
TAX MAP						
	DESCRIPTION	DESCRIPTION	ADJUST	DESCRIPTION	ADJUST	DESCRIPTION
REPORTED SALE PRICE		\$375,000		\$400,000		\$299,000
REPORTED PRICE PER SF			\$9122		\$146.20	
PROPERTY RIGHTS CONVEYED	Fee Simple	Fee Simple	0%	Leased Fee 100% Leased	-10%	Fee Simple
			\$9122		\$13158	
FINANCING CONCESSIONS	None	Market	\$0.00	Market	\$0.00	Market
			\$91.22		\$13158	
CONDITIONS OF SALE (motivation)	Typical / Arm's Length	Typical - Arm's Length	0%	Typical / Arm's Length	0%	Typical / Arm's Length
			\$9122		\$13158	
IMMEDIATE WORK REQUIRED	None	None	\$0.00	None	\$0.00	None
			\$91.22		\$13158	
DATE OF SALE	18-Nov-24	02-Aug-23	5.0%	08-Jul-24	0.0%	15-Apr-24
			\$95.78			\$10.13
CUMULATIVELY ADJUSTED PER SF			\$95.78		\$13158	
Location Quality	Average	Comparable	0.0%	Comparable	0.0%	Comparable
Gross Building Area	2,288	4,111	5.0%	2,736	5.0%	2,202
Effective Building Age	20	20	0.0%	15	-2.5%	20
Building Condition	Average	Below Average	5.0%	Average	0.0%	Average +
Exterior Walls	Vinyl	Clapboard	0.0%	Clapboard	0.0%	Wood Frame / Brick
HVAC	No A/C	No A/C	0.0%	100%	-3.8%	Vinyl
Paved Parking Area in SF	14,656	Adequate	0.0%	3,000	10.0%	100%
Land to Building Ratio (in SF)	28.6	16.85	0.0%	14.97	4.792	100%
OTHER	None	Two Buildings	7.5%	Partially Finished Basement	-10.0%	Adequate
						9.89
NET SUM OF DIRECT ADJUSTMENTS			37.5%		-13%	15.5%
ADJUSTED PRICE PER SF			\$13170		\$129.87	
FOR CUMULATIVE ADJUSTMENTS	The finance adjustment is applied to the nominal sale price per SF. Then, each subsequent adjustment is applied to the prior adjusted sale price per SF.					
FOR DIRECT ADJUSTMENTS	All adjustments are made to the cumulatively adjusted sale price per SF.					
FOR REPORTED PRICE PER SF	The direct adjustments are then summed, and the net direct adjustment is added to the cumulatively adjusted sale price per SF.					
MIN ADJUSTED PRICE PER SF	\$127.15	@ 2,288 = \$ 290,930		Rounded to: \$ 290,000		
MEAN ADJUSTED PRICE PER SF	\$129.63	@ 2,288 = \$ 296,604		Rounded to: \$ 295,000		
MAX ADJUSTED PRICE PER SF	\$13170	@ 2,288 = \$ 301,323		Rounded to: \$ 300,000		

Improved Sale No. 1 – 254 & 256 Salmon Brook Street, Granby



Property Identification

Record ID	6267
Property Type	Retail/Residential
Address	254 Salmon Brook St, Granby, Hartford County, Connecticut 06035
Tax ID	Map G51, Block 78, Lots 60 & 61
Market Type	Commercial

Sale Data

Grantor	Roberta Bordanaro, John Dunne, Donna Agan, & Patricia Cyr
Grantee	Barefeet Properties LLC
Sale Date	August 02, 2023
Deed Book/Page	Volume 461, Page 432
Property Rights	Fee Simple
Conditions of Sale	Typical - Arm's Length
Financing	Cash
Sale History	There are no recent arm's length sales to consider.

Sale Price	\$375,000
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Land Data

Land Size	1.590 Acres or 69,260 SF
Front Footage	505 ft Total Frontage: 275 ft +/- ft on the eastern side of Salmon Brook St; 230 ft +/- ft on the southern side of Hartford Ave;
Zoning	CE- Commercial Edge, Commercial



Improved Sale No. 1 – 254 & 256 Salmon Brook Street, Granby**Land Data**

Topography	Mostly level
Utilities	Typical
Shape	Irregular quadrilateral
Landscaping	Average
Fencing	None
Flood Info	Flood Zone X (not prone to flooding)

General Physical Data

Building Type	Single Tenant
Gross SF	3,260 +/-
Construction Type	Colonial
Roof Type	Gable asphalt
Foundation	Masonry
Electrical	Adequate
HVAC	No A/C
Stories	Two
Floor Height	Typical
Year Built	1803 - Well maintained
Condition	Average

General Physical Data

Building Name	Retail Building
Building Type	Single Tenant
Gross SF	851 +/-
Construction Type	Wood frame
Roof Type	Gable asphalt
Foundation	Concrete slab
Electrical	Adequate
HVAC	None
Stories	One
Floor Height	9'
Year Built	1900 Well maintained
Condition	Average

Summary for Multiple Buildings

Building Name	Construction	Built	Sq. Ft.	Stories	Fl. Ht.
Main Building	Colonial	1803	3,260	Two	Typical
Retail Building	Wood frame	1900	851	One	9'
Gross SF				4,111	



Improved Sale No. 1 – 254 & 256 Salmon Brook Street, Granby

Indicators

Sale Price/Gross SF	\$91.22
Floor Area Ratio	0.06
Land to Building Ratio	16.85:1

Remarks

This sale consists of two abutting properties: 254 Salmon Brook St and 256 Salmon Brook St. The properties are located on the southeastern corner of Salmon Brook Street and Hartford Avenue and are in the CE - Center Edge zone. The COCE - Commercial Center zone abuts the property to the east and the CC - Center Commons zone abuts the property to the northerly and northeasterly. 254 Salmon Brook Street is a 1.48 +/- acre site that is improved with a Colonial-style dwelling that was constructed in 1803 according to the field card. It is built of wood framing, a clapboard exterior, and a gable asphalt shingle roof. It is a two-story building with five bedrooms and two full bathrooms. There is an attic and a basement that are unfinished. The building is heated with oil and does not have air conditioning. There is a three-car detached garage with a loft on the rear eastern side of the lot.

The second lot, 256 Salmon Brook Street, is a 0.11 +/- acre parcel that is improved with an 851 +/- SF commercial building that was constructed in 1900 according to the field card. It is built of wood framing, a clapboard exterior, and a gable asphalt shingle roof. The buyer's agent explained that this building was historically used as a saddle shop in the 1850s and was expanding around the 1940s as a printing shop and is grandfathered in with the zoning regulations. He stated that the three improvements did not have an allocated value. He explained that the property is in the CE - Center Edge zone and abuts the COCE - Commercial Center zone and that the property owner is trying to get a zoning change. The CE - Center Edge zone is mostly focused on residential and office uses, while the COCE - Commercial Center zone allows various other uses. He explained that the buyer is not exactly sure what he plans to do with the property but plans to prepare it for a commercial use by getting zoning approval. The agent explained that the building is structurally sound but has a dated cosmetic appearance.



Improved Sale No. 2 – 101 River Road, Canton



Property Identification

Record ID	6466
Property Type	Commercial (CM), Office/Retail
Address	101 River Road, Canton, Hartford County, Connecticut 06019
Location	Southwestern quadrant of town
Tax ID	Map 30, Block 449, Lot 101
Market Type	Commercial

Sale Data

Grantor	Riverside Wellness LLC
Grantee	River Road Wellness LLC
Sale Date	July 8, 2024
Deed Book/Page	Volume 483, Page 370
Property Rights	Leased Fee
Conditions of Sale	Typical - Arm's Length
Financing	Typical - Market
Mortgagee	Northwest Community Bank
Original Mortgage	\$300,000
Maturity Date	July 9, 2044
Interest Rate	7.43%
Sale History	There are no recent sales to consider.
Sale Price	\$400,000

Improved Sale No. 2 – 101 River Road, Canton**Land Data**

Land Size	0.940 Acres or 40,946 SF
Front Footage	212 ft +/- feet on the eastern side of River Road;
Zoning	Industrial, I
Topography	Mostly level
Utilities	Available & Connected
Shape	Irregular
Landscaping	Average
Fencing	None
Flood Info	Flood Zone X (not prone to flooding)

General Physical Data

Building Type	Single Tenant
Gross SF	2,736 +/-
Construction Type	Commercial
Roof Type	Gambrel
Electrical	Adequate
HVAC	100%
Sprinklers	100%
Stories	Two
Floor Height	Typical
Year Built	1987 Maintained as needed
Condition	Average

Indicators

Sale Price/Gross SF	\$146.20
Floor Area Ratio	0.07
Land to Building Ratio	14.97:1
Occupancy at Sale	100%

Remarks

This 0.94 +/- acre site is improved with a two-story 2,736 +/- SF commercial building that was constructed in 1987. It is built of wood framing, a clapboard exterior, and a gambrel asphalt shingle roof. The building is 100% heated and air-conditioned and is fully sprinklered. There is also a partially finished basement, which is excluded from the GBA and is considered a special feature of the property. There is 3,000 +/- SF of paving, providing adequate parking space. The sale was confirmed to be an arm's length transaction by the listing agent. She explained that the interior has been well maintained and was in good condition. There are no major items of deferred maintenance. She stated that the building was fully leased by various therapists but could not recall the income to allow an extraction of a capitalization rate. The property was listed for \$360,000 and sold for \$400,000 after about a month of being openly marketed. The listing agent stated that there were multiple offers due to the condition of the property and because it was already fully leased.



Improved Sale No. 3 – 234 Main Street, New Hartford



Property Identification

Record ID	6467
Property Type	Commercial, Office
Address	234 Main Street, New Hartford, Litchfield County, CT 06057
Location	Northeastern quadrant of town
Tax ID	Map 44, Block 137, Lot 12
Market Type	Commercial

Sale Data

Grantor	Richard C. Stanchfield
Grantee	The Michael A. Geer Trust
Sale Date	April 15, 2024
Deed Book/Page	Volume 322, Page 350
Property Rights	Fee Simple
Conditions of Sale	Typical - Arm's Length
Financing	Cash
Sale History	There are no recent sales to consider.

Sale Price \$299,000



Improved Sale No. 3 – 234 Main Street, New Hartford**Land Data**

Land Size	0.300 Acres or 13,068 SF
Front Footage	113 ft +/- feet on the eastern side of Main Street;
Zoning	Business, B
Topography	Mostly level
Utilities	Well & Sewer
Shape	Rectangular
Landscaping	Average
Rail Service	None
Fencing	None
Flood Info	Flood Zone B (prone to 500-year flooding)

General Physical Data

Building Type	Single Tenant
Gross SF	2,715 +/-
Construction Type	Wood frame
Roof Type	Gable Asphalt Shingle
Electrical	Adequate
HVAC	100%
Sprinklers	None
Stories	Two
Floor Height	Typical
Year Built	1989 Maintained as needed
Condition	Average

Indicators

Sale Price/Gross SF	\$110.13
Floor Area Ratio	0.21
Land to Building Ratio	4.81:1

Remarks

This 0.3 +/- acre site is located on the eastern side of Main Street. It is improved with a 2,715 +/- SF two-story office building that was constructed in 1989. It is built of wood framing, a vinyl exterior, and a gable asphalt shingle roof. It is heated with oil and has central air-conditioning. The building has been maintained as needed over the years. There is 4,792 +/- SF of paved parking area. The buyer's agent confirmed that the sale was arm's length. He explained that the building has been maintained as needed but the interior has not been updated in many years. He stated that the HVAC needed some work at the time of sale but it was nothing major. The building was previously a two-family dwelling that was converted to a commercial use. The property was vacant at the time of sale. The buyer plans to owner occupy the property to run his business.



Improved Sale No. 4 / 10 Pine Street, Plainville



Improved Sale No. 4 (Cont.) / 10 Pine Street, Plainville

Record ID	6399
Property Type	Office
Address	10 Pine Street, Plainville, Hartford County, Connecticut 06062
Location	Southerly Side of Pine Street
Tax ID	Map 24, Block M, Lot 13B
Legal	Warranty Deed
MSA	Hartford

Sale Data

Grantor	Ten Pine LLC
Grantee	Bulta Inc
Sale Date	May 31, 2024
Deed Book/Page	Volume 672, Page 693
Property Rights	Fee Simple
Financing	Market
Mortgagee	Salem Five Cents Savings Bank
Original Mortgage	\$240,000
Maturity Date	June 03, 2034
Interest Rate	Variable
Sale History	Ten Pine LLC purchased for \$275,000 on November 16, 2021. (Volume 647, Page 472)

Sale Price	\$320,000
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Land Data

Land Size	0.50+/- Acres or 21,780+/- SF
Front Footage	117 ft Southerly Side of Pine Street;
Zoning	General Commercial, GC
Topography	Level Land
Utilities	All available and connected
Shape	Irregular
Fencing	None
Flood Info	Not located in a Flood Prone Area
Parking	Adequate, 11,700+/- SF asphalt paving. 24+/- lined spaces onsite
Traffic Counts	Reported 4,400+/- cars in front of site.
Depth	184'

General Physical Data

Building Type	Single Tenant
Gross SF	2,202 +/-
Construction Type	Wood Frame / Brick
Roof Type	Flat / Rubber
Foundation	Concrete

Improved Sale No. 4 (Cont.) / 10 Pine Street, Plainville**General Physical Data, Cont.**

HVAC	100% Central Air
Sprinklers	100% Sprinklered
Stories	1
Floor Height	8'
Year Built	1975
Condition	Average

Income Analysis

Potential Gross Income	\$36,000
Vacancy	<u>\$ 1,800</u>
Effective Gross Income	<u>\$34,200</u>
Expenses	<u>\$ 7,139</u>
Net Operating Income	<u>\$27,061</u>

Indicators

Sale Price/Gross SF	\$145.32
Floor Area Ratio	0.10
Land to Building Ratio	9.89:1
Occupancy at Sale	100% Leased
Gross Income Multiplier	8.89x
Eff. Gross Inc. Multiplier	9.36x
Expenses/Sq. Ft.	\$3.24
Overall or Cap Rate	8.46%
Net Operating Inc./SF	\$12.29

Remarks

This is the sale of a single tenant office building. The building improvement was constructed in 1975 of wood frame materials, brick exterior siding and a flat rubber roof on a 0.50+- acre lot. The building improvement has one floor with a finished lower level. The building has full central air and sprinklered. Access to the site is by two curb cuts along Pine Street. There is ample parking surrounding the building improvement and a secondary lot to the rear south of the site.

The property was listed for \$347,900 before selling for 8% less for \$320,000. The buyer's broker shared the property sold at arm's length and mechanicals were replaced prior to the sale. The property was leased at the time of sale for \$3,000 per month (\$16.35 per SF), with month-to-month expense terms. He shared the tenant paid all expenses except for real estate taxes. The purchaser intends on owner occupying the space.



Improved Sale No. 5 – 32 Rainbow Road, East Granby



Property Identification

Record ID	6277
Property Type	Commercial (CM), CM - Retail
Address	32 Rainbow Road, East Granby, Hartford County, Connecticut 06026
Location	Eastern side of town
Tax ID	Map 12, Lot 41
Market Type	Commercial

Sale Data

Grantor	Pogo's Territory LLC
Grantee	Frank J. Grillo and Patricia A. Logan
Sale Date	May 03, 2023
Deed Book/Page	Volume 238, Page 420
Property Rights	Fee Simple
Conditions of Sale	Typical - Arm's Length
Financing	Typical - Market
Mortgagee	Windsor Federal Savings and Loan Association
Original Mortgage	\$280,000
Maturity Date	May 04, 2043
Interest Rate	6.50%
Sale History	There are no recent sales to consider.
Sale Price	\$380,000



Improved Sale No. 5 – 32 Rainbow Road, East Granby

Land Data

Land Size	4.770 Acres or 207,781 SF
Front Footage	2,350 ft Total Frontage: 1,500 ft +/- ft on the southwestern side of Rainbow Rd; 850 ft +/- ft on the northern side of School St;
Zoning	Village Center, V
Topography	Mostly level
Utilities	Available & Connected
Shape	Irregular flag shape
Landscaping	Average
Rail Service	None
Fencing	None
Flood Info	Flood Zone X500 (prone to 500-year flooding)
User 5	Prone to 100-year flooding on the western side.

General Physical Data

Building Type	Single Tenant
Gross SF	3,472 +/-
Construction Type	Wood frame
Roof Type	Gambrel
Foundation	Concrete slab
Electrical	Adequate
HVAC	100%
Sprinklers	None
Stories	Two
Floor Height	8'
Year Built	1976
Condition	Below Average

Indicators

Sale Price/Gross SF	\$109.45
Floor Area Ratio	0.02
Land to Building Ratio	59.84:1

Improved Sale No. 5 – 32 Rainbow Road, East Granby

Remarks

This 4.77 +/- acre parcel has frontage on Rainbow Road and School Street and connects the two streets in the middle of the lot. The land has an irregular flag shape with a mostly level topography. There is a brook that runs through the property to the west of the 16,700 +/- SF parking lot. The property is prone to 500-year flooding near the improvement and parking lot and prone to 100-year flooding for the majority of the remaining land on the western side of the lot. The site was improved with a two-story commercial building in 1976. It contains 3,472 +/- SF and is built of wood framing, a clapboard exterior, and a gambrel asphalt shingle roof. The building is fully heated and air-conditioned with central air. The interior of the building has not been updated since it was constructed and is in tired condition. The listing agent explained that the building was in tired condition but there were no major items of deferred maintenance. She explained that the seller historically leased the first floor to a bakery and occupied the second floor as office space; however, the property was vacant at the time of sale. She stated that the buyer is local and owns other commercial properties in the area. She stated that he has some plans for the property and intends to lease the space. She stated that there were multiple offers on the property but this buyer offered a higher price by financing the purchase. Upon visiting the property, it was noted that the exterior of the building has been updated.



INCOME CAPITALIZATION APPROACH**METHOD**

The technique used in the analysis is Direct Capitalization, which converts the expected income for a single year into an indication of the current leased fee market value using an appropriate capitalization rate. The cash flow model employs estimates of stabilized income and operating expenses. The stabilization process considers income and expense items individually and transient or atypical changes from year to year may be eliminated or spread over time where appropriate.

STABILIZED INCOME**Classification of****Rental Space**

Commercial

Market Rental**Data**

We have surveyed recent leasing activity for commercial space within the general market area of the subject. Leasing data was acquired for Granby and competing locations. **Table I** below contains a summary of the survey data.

TABLE I: MARKET COMMERCIAL LEASE DATA

Lease No.	Leased Premises Address	Tenant Name	Lease Date Lease Term	Leased SF	Rent/ SF	Expense Type
1.	41 Hartford Ave, Granby	Office	2024	750 +/-	\$15.20/SF	Gross
2.	10 Hartford Ave, Granby	Various	Current	470 – 2,560 +/-	\$16.00/SF 2,560 +/-	NNN
3.	Simsbury Properties	Confidential	2023 - 5 year 2022 - 3 year	5,000 +/- 1,000 +/-	\$18.72/SF \$18.00/SF	M. Gross M. Gross
4.	241 Albany Turnpike Canton	Office	Current	1,329 +/-	\$16.25/SF	Gross

This lease is for 750 +/- SF of second floor office space. The 0.53 +/- acre site is improved with a 2,946 +/- SF two-story commercial building that was constructed in 1995. The site has 8,000 +/- SF of paved parking area, providing adequate space. This lease was listed for \$1,100 per month and closed for \$950/month, or \$15.20/SF. The lease was negotiated on a full gross lease where the landlord incurs all costs, including utilities.

10 Hartford Avenue is also known as the Granby Village Shops. It is a 2.7 +/- acre shopping center that contains a total of 16,708 +/- SF. It was built in 1947 and supports eleven tenants. There has been various spaces leased within this strip center. The spaces range from 470 +/- SF to 2,560 +/- SF. The spaces are all leased for \$16.00/SF with NNN expenses. The listing agent explained that there is also a \$5.00/SF common area expense. She confirmed that each unit has separate utilities. The tenants are generally responsible for their own build-out; however, the landlord will provide it if the space needs to be updated. There are currently three spaces available ranging from 2,000 +/- SF to 3,300 +/- SF. These units are also available for \$16/SF, NNN.

We are aware of two confidential office leases in Simsbury. One of the units contains 5,000 +/- SF and is leased for \$18.72/SF. Another 1,000 +/- SF unit is leased for \$18.00/SF. These leases have modified gross expenses, where the tenant only pays for their utilities while the landlord incurs all other expenses. This lease is adjusted upward to reflect the expense agreement.

This is a lease of a single unit office building built in 1940 on a .98 +/- acre lot. The building is built with wood frame materials with vinyl siding and a gable roof. The building has full AC and adequate on-site parking. The analyzed lease is \$1,800 per month with all utilities included. This equates to \$16.25 per SF (\$21,600 yearly rent / 1,329 SF = \$16.25). This lease is adjusted upward to reflect its location.



INCOME CAPITALIZATION APPROACH**TABLE I: MARKET COMMERCIAL LEASE DATA**

Lease No.	Leased Premises Address	Tenant Name	Lease Date Lease Term	Leased SF	Rent/ SF	Expense Type
5.	10 East Street, East Granby	Retail / Office	Current	1,747 +/- 2,480 +/-	\$16/SF \$14/SF	NNN
6.	518 Salmon Brook St, Granby	Listing	Available	1,158 – 1,750 +/-	\$13.47/SF \$17.83/SF	Gross + Utilities

This is the 15,755 one-story retail building to the north of the subject known as the East Street Shops. It is built on a 5.21 +/- acre site in 2008 of wood-frame construction with a gable, asphalt shingled, roof. According to CoStar, the asking rents for two spaces prior to being leased were \$14 and \$16 per SF, NNN. There is a 1,645 +/- SF space current available for \$16/SF, NNN. The building is newer than the subject, but the rents require upward adjustment to reflect the Gross expense terms of the subject. This property sold in December 2017 for \$1,400,000 or \$88.86/SF.

The space is located in the Granby Commons which is a strip center supporting 10 occupants on a 2.32 +/- acre lot. The building was constructed in 1986 and contains a total of 14,454 +/- SF. It is built of wood framing, a brick exterior, and a hip asphalt shingle roof. The building has been well maintained over the years. The tenant is only responsible for their utilities. The landlord pays the maintenance, insurance, and taxes. Unit 6 is a 1,158 +/- SF unit that is available for \$1,300 per month, or \$13.47/SF. Unit 4 is a 1,750 +/- SF unit asking for \$2,600/month, or \$17.83/SF.

Estimate of Market Rent & Expense Terms	Commercial leases in the subject market area for a free-standing building are typically negotiated on a NNN expense basis, and these expense terms are reflected in the estimate of market rental value of \$15.00 per SF.
Contract Rent & Expense Terms	The subject property is not currently leased. It is vacant; therefore, the market rent is used in the analysis.
Reimbursement Income	Where a single tenant occupies a property like the subject, the tenant typically pays vendors directly for maintenance, repairs and utilities, and there is no reimbursement income to the owner for these items. Recovery income is estimated to be \$10,833 or 69% of total operating expenses. This estimate presumes the tenant(s) pay vendors directly for utilities, common area expenses and non-capital repairs. The recovery income is considered to be additional rent.
Potential Gross Income (PGI)	Exhibit II on page 49 summarizes the estimate of the first year's stabilized income. This estimate reflects stabilized occupancy and the market rental value of space at the property. The \$44,633 PGI estimate includes \$34,320 in base rent and \$10,313 in operating expenses recovered as additional rent.
Vacancy & Collection Loss	An investor would expect periodic vacancy and collection loss over a normal holding period and 5.0% of PGI is estimated to cover this risk, or \$2,232. This deduction is taken within the cash flow model.
Effective Gross Income (EGI)	Deducting the vacancy allowance from the PGI yields an Effective Gross Income (EGI) of \$42,401.

INCOME CAPITALIZATION APPROACH, CONTINUED**OPERATING EXPENSES**

Reported Expenses No operating expense data was received from the property owner. In single occupancy commercial properties like the subject, tenants typically pay directly for utilities, maintenance, and non-capital repairs and replacements. Landlords at these properties typically pay taxes and insurance directly to retain control of payments and then recover these costs from a tenant as additional rent. Since tenants typically pay variable operating costs and landlords tend to pay fixed costs, the modeling of operating expenses to be deducted from the rental income paid to the owner is simple and reliable because these costs are either publicly available (taxes) or tend to be relatively uniform and stable (insurance, management and reserves). We do not, therefore, require a history of operating expenses for the subject to conduct an income-based valuation.

Stabilized Expenses The public record of property taxes, experience with similar properties, standard operating allowances, and applicable market lease terms were relied upon to estimate the annual \$14,954 cost to operate the subject property at stabilized occupancy. The ratio of estimated expenses to effective income is 35.3% of EGI.

NET OPERATING INCOME (NOI)

Net Operating Income (NOI) **Exhibit II** on page 49 summarizes the judgments made with respect to income, vacancy and operating expenses. The projected operating expenses and vacancy loss are subtracted from the Potential Gross Income to calculate the Net Operating Income (NOI) of \$27,447.

CAPITALIZATION RATE

Mortgage-Equity Analysis The capitalization rate is calculated using a mathematical technique known as Band of Investment, which provides for a weighted average return to both debt and equity positions.

<i>Market Loan Terms</i>	Loan-to-Value Ratio (M)	75%
	Interest Rate	6.50%
	Loan Term	25-year amortization
	Payments per Year	12
	Mortgage Constant (RM)	0.081025

Equity Dividend The Q2 2024 PwC Real Estate Investor Survey, published by PriceWaterhouseCoopers, was consulted for data regarding equity investment criteria. The survey respondents reported an average unleveraged capitalization rate for regional mall properties ranging from 5.0% to 14.0% with an average of 8.38% and secondary office properties range from 6.5% to 10.25% with an average of 8.5%. The survey includes institutional grade properties.



INCOME CAPITALIZATION APPROACH, CONTINUED**CAPITALIZATION RATE, CONTINUED***Equity Dividend*

The subject is not an institutional grade property. In addition, leveraged purchases are common in the local market and a basis point premium is added to account for the greater risk of investment on a leveraged basis.

Per the RERC Q3 2024 Real Estate Report, the average Pre-Tax Yield Rate for Second-Tier Neighborhood/Commercial Retail property in the east ranges from 8.5% to 12.0% with an average of 10.2% and a range of 9.3% to 13.0% with an average of 10.9% for Third-Tier properties.

The average Pre-Tax Yield Rate for Second-Tier Suburban Office property in the east ranges from 9.1% to 14.0% with an average of 10.9% and a range of 9.3% to 15% with an average of 11.5% for Third-Tier properties. Therefore, the market equity capitalization rate for the subject is estimated to be 10.5%.

Band of Investment

Mortgage Component	0.081025	(RM) x	75%	(M) =	0.060769
Equity Component	0.105000	(RE) x	25%	(1-M) =	<u>0.026250</u>
Indicated Capitalization Rate					0.087019

Comparative Analysis

In addition to the above analysis, we have consulted published data regarding going-in capitalization rates and our own research. Real Estate Research Corporation (RERC) conducts quarterly surveys of institutional investment criteria that large investors rely upon when making acquisitions. The Q3 2024 RERC survey data indicates that a prospective purchaser would most likely demand a going-in capitalization rate of 7.5% to 11.1% with an average of 8.9% for a Second-Tier Neighborhood/Commercial Retail property in the east and a range of 8.5% to 12% with an average of 9.6% for Third-Tier properties.

The survey indicates that an investor would demand a going-in capitalization rate of 7.5% to 11.0% with an average of 9.2% for a Second-Tier Suburban Office property in the east and a range of 8.0% to 13.0% with an average of 10.0% for a Third-Tier property.

Sale 4 reflected an overall capitalization rate of 8.46%. In the Sales Comparison Approach, Sale 4 was considered superior to the subject, warranting a net downward adjustment; thus, the overall rate of 8.46% indicated would be adjusted upward.

Based on this analysis, the following Capitalization Rate is estimated:

Estimated Overall Capitalization Rate9.25%



INCOME CAPITALIZATION APPROACH, CONTINUED

CAPITALIZATION OF NOI

The following calculation summarizes the capitalization procedure used to estimate the leased fee current market value of the subject.

Net Operating Income	\$ 27,447
Overall Capitalization Rate	÷ 9.25%
Capitalized NOI	\$ 296,724

Rounded to:

**INDICATED LEASED FEE MARKET VALUE
VIA INCOME CAPITALIZATION APPROACH\$300,000**



INCOME CAPITALIZATION APPROACH, CONTINUED**EXHIBIT II**

DIRECT CAPITALIZATION OF CASH FLOW FROM LEASING OPERATIONS

83 Salmon Brook Street

Granby, CT

18-Nov-24

(Accuracy of internal calculation may exceed that of rounded numbers displayed)

Rental & Operating Parameters		Financing & Investment Parameters	
GROSS BUILDING AREA in SF	2,288	MINIMUM DEBT COVERAGE RATIO	1.25
NET RENTABLE AREA in SF	2,288	INITIAL LOAN TO VALUE RATIO	75%
VACANCY & COLLECTION LOSS RATE	5.0%	INTEREST RATE	6.50%
RENTAL BROKERAGE RATE: NEW LEASE	5.0%	TERM (Years)	25
RENTAL BROKERAGE RATE: RENEWAL	1.5%	PAYMENTS PER YEAR	12
LENGTH OF TYPICAL LEASE (Years)	5	EQUITY CAPITALIZATION RATE	10.50%
FIT-UP ALLOWANCE per SF	\$0.00	LOAD FACTOR	0.0%
PROBABILITY OF NEW TENANT	25%	Is LOADED: YES/NO	NO
PROPERTY MANAGEMENT	5.3%	MARKET RENT PER SF, NRA	\$15.00
EXPENSE CONTINGENCY ALLOWANCE	0.5%		
CAPITAL RESERVE RATE	2.5%		
MONTHS OF LEASING OPERATIONS REPORTED	0		

RENTAL INCOME STABILIZATION		Leased Area in SF	Current Rent/SF	Reported Average Rent/SF	Market Rent Per SF	STABILIZED Annualized Income
Tenant Name						
Subject		2,288	0.00	0.00	15.00	34,320
POTENTIAL GROSS BASE RENT		2,288	0.00	0.00	15.00	34,320
Plus: RECOVERIES (if any)					Weighted Average Unit Rents (above)	10,313
POTENTIAL GROSS INCOME (PGI)						44,633
Less: VACANCY & COLLECTION LOSS						(2,232)
EFFECTIVE GROSS INCOME (EGI)						42,401
OPERATING EXPENSES STABILIZATION		0	Reported Annualized	Stabilized Annualized	Selected Stabilized %	STABILIZED Annualized Expenses
ITEM		Reported Months	Per SF	Per SF		
<i>FIXED OPERATING COSTS (Paid by Tenant)</i>						
Real Estate Taxes (projected to 1st year)				3.852		8,813
Casualty & Liability Insurance				0.250		1,500
<i>VARIABLE OPERATING COSTS</i>						
Property Management				0.982	5.3%	2,247
<i>OCCUPANCY COSTS</i>						
Probable Average Annual SF Leased to a New Tenant				114 SF		
Brokerage Fee for New Tenant: average \$/SF leased				0.188	5.0%	429
Probable Average Annual SF Leases Renewed				343 SF		
Brokerage Fee for Renewal: average \$/SF leased				0.084	1.5%	193
<i>FIXED ASSET COSTS</i>						
Accounting & Legal				0.219		500
<i>CONTINGENCY & RESERVES</i>						
Expense Contingency & Misc. Reported Expenses				0.093	0.5%	212
Capital Reserve				0.463	2.5%	1,060
TOTAL EXPENSES (% EGI)				\$6.54	35.3%	14,954
NET OPERATING INCOME (NOI)						27,447
Overall Capitalization Rate						9.25%
Indicated Market Value						296,724
					Rounded to:	\$ 300,000
						\$ 131.12



RECONCILIATION

Appraisal Method	Indicated Value
Sales Comparison Approach	\$300,000
Income Capitalization Approach	\$300,000

Within this appraisal, sufficient market data was available to develop an estimate of value by using the Sales Comparison and Income Capitalization Approaches. The Cost Approach was not relevant. Ordinarily, the Cost Approach is applied to new and/or special use properties. The Cost Approach is not ordinarily applied to valuations of older or mid-life improvements due to the subjectivity associated with estimating accrued depreciation. The exclusion of the Cost Approach in this case comports with standard appraisal practice in the subject market area.

The expected buyer profile for the subject property includes both owner occupants and investors. Sufficient market data was available to develop a comparison analysis. The sales used in the comparison analysis are mostly similar in size, located within the Granby market area and were transacted under market conditions similar to those on the valuation date. None of the sales available for comparison, however, share all of the salient characteristics of the subject property. As a result, adjustments were made to the comparable sales to reflect the subject property.

The subject property is vacant but is capable of generating rental income. If it were offered for sale, offers from potential investors would be expected. An Income Capitalization Approach was conducted, and the income productivity of the subject property and market financing terms were analyzed. The value indicated by the Income Capitalizations Approach is expected to be lower for smaller buildings like the subject because owner occupants enjoy a competitive advantage for financing and view real estate acquisition as an investment in the stabilization of a business enterprise as opposed to an investment in an income producing property. Therefore, the indicated market values via the Sales Comparison and Income Capitalization Approaches were given equal weight.

The weighting of the valuation approaches is calculated in the table below.

	Indicated Market Value	Weighting	Weighted Indication of Market Value
Sales Comparison Approach	\$300,000	50%	\$150,000
Income Capitalization Approach	\$300,000	50%	<u>\$150,000</u>
Summed to: Reconciled Market Value Estimate			\$300,000
		Rounded To:	\$300,000

The analysis of the data contained within this appraisal report indicates that the current market value of the leased fee interest in the subject property, as of November 18, 2024, is:

**THREE HUNDRED THOUSAND DOLLARS
(\$300,000)**

As discussed, the above market value estimate presumes an exposure period of 6-12 +/- months.

CERTIFICATION

The undersigned does hereby certify that, to the best of my knowledge and belief:

1. My analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the *Uniform Standards of Professional Appraisal Practice*.
2. The reported analyses, opinions and conclusions were developed, and this report has been prepared in conformity with the requirements of the Code of Professional Ethics and Standards of Professional Appraisal Practice of the Appraisal Institute.
3. The statements of fact contained in this appraisal report are true and correct.
4. The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions and are my personal, impartial, and unbiased professional analyses, opinions, and conclusions.
5. I have no present or prospective interest in the property or the stated interest that is the subject of this report and no personal interest with respect to the parties involved.
6. I have performed no services, as an appraiser or in another capacity, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.
7. I have no bias with respect to the property that is the subject of this report, or the parties involved with this assignment.
8. My engagement in this assignment was not contingent upon developing or reporting predetermined results.
9. My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
10. I have made a personal inspection of the property that is the subject of this report.
11. No one provided significant real property appraisal assistance to the person signing this certification.
12. The use of this report is subject to the requirements of the Appraisal Institute relating to review by its duly authorized representatives.
13. As of the date of this report, John J. Galvin, MAI has completed the continuing education program for designated members of the Appraisal Institute.
14. As of the date of this report, I, Zachary Burksa, have completed the Standards and Ethics Education Requirements for Associate Members of the Appraisal Institute.



John J. Galvin, MAI
CT Certified General Real Estate Appraiser
RCG#: 0000758, Expires April 30, 2025



Zachary Burksa
CT Certified General Real Estate Appraiser
RCG#: 0001768, Expires April 30, 2025



ASSUMPTIONS AND LIMITING CONDITIONS

This appraisal is predicated on the assumption that hazardous substances do not exist at the subject property. No apparent evidence of contamination or potentially hazardous materials was observed on the date of inspection. Members of this appraisal office are not qualified to determine the existence of, nor is any certification made as to the presence or absence of, any hazardous substances. No responsibility is assumed for any such conditions, nor for any expertise or engineering knowledge required to discover them.

Additional important assumptions and limiting conditions are as follows:

1. No investigation of title to the property has been made, and the premises are assumed to be free and clear of all deeds of trust, use restrictions and reservations, easements, cases or actions pending, tax liens, and bonded indebtedness, unless otherwise specified. No responsibility for legal matters is assumed. All existing liens and encumbrances have been disregarded and the property is appraised as though free and clear, unless otherwise specified.
2. A request was made for all pertinent information regarding the subject property for the purpose of this valuation. The request included any and all existing or potential leases; listings, offers to purchase, contracts, or options that may encumber the property; and any other data deemed relevant to this analysis. The valuation contained herein reflects all such information received.
3. The maps, plats, and exhibits included in this report are for illustration only to help the reader visualize the property. They should not be considered as surveys or relied upon for any other purpose. No appraiser responsibility is assumed in connection therewith.
4. This appraiser, by reason of this report, is not required to give testimony or be in attendance in any court or before any governmental body with reference to the property in question unless arrangements have been previously made.
5. No engineering survey has been furnished to the appraiser, and no responsibility is assumed for engineering matters, mechanical or structural.
6. It is assumed, unless specifically disclosed, that there are no structural defects hidden by floor or wall coverings or any other hidden or unapparent conditions of the property; that all mechanical equipment and appliances are in working condition; and that all electrical components and the roofing are functional. If the client has any questions regarding these items, it is the client's responsibility to order the appropriate inspections. The appraiser does not have the skill or expertise needed to make such inspections. The appraiser assumes no responsibility for these items.
7. It is assumed that there is full compliance with all applicable federal, state, and local environmental regulations and laws, unless noncompliance is stated and considered in this report.
8. No soil borings or analyses have been made of the subject. It is assumed that soil conditions are adequate to support standard construction consistent with the highest and best use as stated in this report.
9. It is assumed that all required licenses, consents, or other legislative or administrative authority from any local, state, or national government or private entity or organization have been or can be obtained or renewed for any use on which the value estimate contained in this report is based, unless noncompliance is stated and considered in this report.
10. The individual value(s) estimated for the various components of the subject property are valid only when taken in the context of this report and are invalid if considered individually or as components in connection with any other appraisal.
11. The date of value to which the opinions expressed in this report is set forth explicitly. The appraiser assumes no responsibility for economic or physical factors occurring at some later date that may affect the opinions herein stated.
12. Our value estimate presumes that all benefits, terms, and conditions have been disclosed in any lease agreements, and we have been fully informed of any additional considerations (i.e., front-end cash payments, additional leasehold improvement contributions, space buybacks, free rent, equity options).
13. Neither all nor any part of the contents of this report shall be conveyed to the public through advertising, public relations, news, sales or other media, without the written consent and approval of the authors, particularly as to valuation conclusions, the identity of the authors or firm with which they are connected, or any reference to the Appraisal Institute, or to the MAI designation.
14. This appraisal was prepared for the exclusive use of the client for the purpose specified and must not be used in any other manner without our written consent. This report and the data it contains, except that provided by the client, remain the property of our firm.
15. The fee invoiced addresses this appraisal report only. If court testimony and/or further consultation beyond normal report follow-up is required, additional fees may be charged at our prevailing hourly rate.

QUALIFICATIONS OF THE APPRAISER:

JOHN J. GALVIN, MAI

Education & Professional Affiliations:

1989 graduate of University of Connecticut with a BS in Finance. All coursework required for MAI designation and State Licensing plus numerous seminars and continuing education courses. Two-year certificate in Plant Science & Nursery Management awarded May 1982 from the University of Connecticut School of Ratcliff-Hicks. Successfully completed Commercial Loan Credit Training Program with Connecticut National Bank 1990. Honorable Discharge from U.S. Navy 1986.

Real Estate Licenses and Certification:

- CT Certified General Appraiser License #RCG.0000758 - Expiration date April 30, 2025
- CT Certified Commercial / Industrial, State of CT, for Municipal Revaluation for Assessment Purposes, #971 – Expires April 30, 2025
- Testified as an expert witness in Federal Superior Court and Connecticut Superior Court(s)
- Board of Directors, Connecticut Chapter of the Appraisal Institute
- 2010 President of the CT Chapter of the Appraisal Institute
- 2014 Appointed Commissioner, Connecticut Real Estate Appraisal Commission - Active

Types of Appraisal and Development Services Performed:

Property Services Performed: Absorption Analysis; Appraisal Review; "As Is" – "As Complete" Analyses; Conservation Gift Valuations; Contamination Damage Analysis; Cost / Benefit Analysis; Cost-Benefit and Purchase Decisions; Credit Analysis; Current Market Valuation Analysis; Development and Investment Models; Development Strategies; Easement Valuations; Feasibility Studies; Functional Utility Studies; Highest & Best Use Analysis; Investment Value Analysis; Litigation Support; Market Rent Studies; Market Studies; Marketing and Penetration Studies; Neighborhood Impact Studies; Property Tax Analysis; Prospective Valuation Analysis; Retrospective Valuation Analysis; Risk Analysis; Sensitivity Analysis; Stigma Studies; Studies of Environmental Impact on Valuation; Tax Appeal Appraisals; Trend Studies; USPAP Compliance Review / Appropriateness of Techniques Used, Federal Land Acquisition Appraisals (Yellow Book).

Property Types Appraised: Affordable Housing; Agricultural / Farm / Nursery; Amusement Facility; Apartment / Multi-Family Housing; Auto Salvage Yard; Automobile Dealership; Bank; Banquet Facility; Bus Station; Car Wash; Church / Worship Facility; Class A Office; Cold Storage / Mini Storage / Warehouse; Commercial / Commercial Land; Community Shopping Center; Condominium / Condo Conversions; Convenience Store; Corporate Headquarters; Country Estate; Courthouse; Day Care Center; Development Rights; Elderly / Age Restricted Housing; Eminent Domain and/or Partial Interest Involving Partial Taking; Factory; Fair Grounds; Fast Food Restaurant; Flood Plain; Fraternal Hall / Club; Garden Center; Gasoline Station; Golf Course / Driving Range; Greenhouse; Historic Property; Horse Barn / Stable; Hotel / Motel; Indoor Tennis Facility; Industrial / Industrial Land / Industrial Condo / Industrial Mill; Land Lease; Landfill; Large Acreage Parcel; Leasehold Estate; Medical / Medical Condo; Office Building / Office Condo; R&D; Recreational Uses; Residential Property of Various Types; Restaurant; Retail; Right of Way and Easement; Rooming House; Sand and Gravel Pit / Quarry; Saw Mill; School / Education Facility; Service Station / Auto Repair; Special Purpose Building; Special Use Property; Sports / Health Club; Subdivision; Tavern; Theater; Train Station; Truck Stop; Truck Terminal; Valet Parking Lot; Veterinarian Clinic; Waterfront Property; Wetlands.

Collected and confirmed market data, performed detailed property inspections, analyzed appraisal problems and independently wrote detailed narrative appraisals with R.F. Hagearty & Associates. Reviewed external real estate appraisals for all property types used in the loan underwriting and asset management processes while at Shawmut Bank. Evaluated commercial and real estate lending relationships in excess of \$250,000 to determine asset quality while at Connecticut National Bank.

Employment History:

Galvin Appraisal Services, LLC - Appraiser & Member	2003 to Date
Was Andrews & Galvin Appraisal Services, LLC 2003-2019	
H.G.A., LLC – Appraiser, Consultant & Principal	2 years
Galvin Appraisal Services, LLC - Independent Fee Appraiser & Owner	5 years
R.F. Hagearty & Associates, Inc. - Senior Staff Appraiser	3 years
Shawmut N.A. & Connecticut National Bank – Staff Review Appraiser	1 year
Connecticut National Bank –Senior Credit Review Analyst	2 years

QUALIFICATIONS OF THE APPRAISER:

ZACHARY BURKSA

Connecticut Certified General Real Estate Appraiser License RCG.0001768, Expires April 30, 2025

Associate Member of the Appraisal Institute

EDUCATION

Central Connecticut State University, Bachelor's Degree in Finance, December 2018

Real Estate Appraisal Courses Completed:

Basic Appraisal Principles : 30 Hours. Completed September 30, 2019

Basic Appraisal Procedures : 30 Hours Completed October 29, 2019

2018-2019 National USPAP Course : 15 Hours Completed November 12, 2019

Statistic, Modeling and Finance : 15 Hours Completed November 26, 2019

General Appraiser Market Analysis Highest & Best Use : 30 Hours Completed January 15, 2020

General Appraiser Sales Comparison Approach : 30 Hours Completed March 12, 2020

CT Appraisal Law Update : 4 Hours Completed May 18, 2020

General Appraiser Site Valuation & Cost Approach : 30 Hours Completed August 7, 2020

General Appraiser Income Approach : 60 Hours Completed November 13, 2020

General Report Writing & Case Studies : 30 Hours Completed December 9, 2020

Commercial Appraisal Review – Subject Matter Elective : 15 Hours Completed October 27, 2021

2022-2023 7-Hour National USPAP Update Course : 7 Hours Completed April 13, 2022

Expert Witness for Commercial Appraisers – Subject Matter Elective : 15 Hours Completed April 21, 2023

Advanced Income Capitalization : 30 Hours Completed November 15, 2024

WORK EXPERIENCE

Ion Bank: Credit Analyst Intern (June 2018 – October 2019)

Galvin Appraisal Services, LLC: CT Certified General Real Estate Appraiser (December 2023- Present)

License RCG.0001768, Expires April 30, 2025

Advise Realty Services: Real Estate Salesperson (June 2024 – Present)

License RES.0831424, Expires May 31, 2026

Services Performed to Date as Part of Appraisal Assignments: Absorption Analysis, “As Is” – “As Complete” Analysis, Current Market Valuation Analysis, Easement Valuations, Feasibility Studies, Highest & Best Use Analysis, Market Studies, Market Rent Studies, Market Studies, Property Tax Analysis, Prospective Valuation Analysis, Retrospective Valuation Analysis, Sensitivity Analysis, Subdivision Analysis, Tax Appeal Appraisals, Trend Studies, Federal Land Acquisition Appraisals (Yellow Book)

Property Types Worked on to Date: Affordable Housing, Agricultural / Farm, Airport Hangar, Apartment / Multi-Family Housing, Auto Salvage Yard, Bank, Church / Worship Facility, Cold Storage / Mini Storage / Warehouse, Commercial / Commercial Land, Condominium – Industrial / Medical / Office / Retail, Country Estate, Day Care Facility, Development Rights, Easement, Eminent Domain and/or Partial Interest Involving Partial Taking, Equestrian Farm, Fast Food Restaurant, Grocery Store, Historic Property, Hotel / Motel, Industrial – Flex / Land / Manufacturing / Mill / Warehouse, Land Lease, Large Acreage Parcels, Leasehold Estate, Marina, Medical Office, Mixed-Use, Mobile Home Park, Office Building, Quarry, Recreational Uses, Residential, Restaurant, Retail, School / Educational Facility, Service Station / Auto Repair, Small Acreage Parcels, Social Club, Special Purpose Building, Special Use Property, Subdivision, Transfer Station, Truck Terminal, Undevelopable Land, Waterfront Property, Wetlands



Partial List of Appraisal Assignments Completed by Members of Firm:

- Absorption Analysis
- Appraisal Review
- “As Is” – “As Complete” Analyses
- Conservation Gift Valuations
- Contamination Damage Analysis
- Cost-Benefit and Purchase Decisions
- Credit Analysis
- Current Market Valuation Analysis
- Development Strategies
- Easement Valuations
- Feasibility Studies
- Functional Utility Studies
- Highest & Best Use Analysis
- Investment Value Analysis
- Litigation Support
- Market Rent Studies
- Market Studies
- Marketing and Penetration Studies
- Neighborhood Impact Studies
- Property Tax Analysis
- Prospective Valuation Analysis
- Retrospective Valuation Analysis
- Risk Analysis
- Sensitivity Analysis
- Stigma Studies
- Tax Appeal Appraisals
- Trend Studies
- USPAP Compliance Review / Appropriateness Of Techniques Used

List of Property Types Appraised:

- Affordable Housing
- Agricultural / Farm / Nursery
- Amusement Facility
- Apartment / Multi-Family Housing
- Auto Salvage Yard
- Automobile Dealership
- Automotive / Truck Repair Facility
- Bank
- Banquet Facility
- Bed and Breakfast / Hotel / Motel / Country Inn
- Boat Yard / Dockominium / Marina
- Bus Station
- Car Wash
- Church / Worship Facility
- Class A Office
- Cold Storage / Mini Storage / Warehouse
- Commercial / Commercial Land
- Community Shopping Center
- Condominium / Condo Conversions
- Convenience Store
- Corporate Headquarters
- Courthouse
- Day Care Center
- Development Rights
- Elderly / Age Restricted Housing
- Eminent Domain and/or Partial Interest Involving Partial Taking
- Factory
- Fair Grounds
- Fast Food Restaurant
- Flood Plain and Pond Bottom
- Fraternal Hall / Club
- Garden Center
- Gasoline Station
- Golf Course / Driving Range
- Greenhouse
- Historic Property
- Horse Barn / Stable
- Hotel / Motel
- Hockey Facility / Indoor Skating
- Indoor Tennis Facility
- Industrial / Industrial Land / Industrial Condo / Industrial Mill
- Land Lease
- Landfill
- Large Acreage Parcel
- Leasehold Estate
- Medical / Medical Condo
- Municipal
- Office Building / Office Condo
- R&D
- Recreational Uses
- Residential Property of Various Types
- Restaurant
- Retail
- Right of Way and Easement
- Rooming House
- Sand and Gravel Pit / Quarry
- Saw Mill
- School / Education Facility
- Service Station / Auto Repair
- Special Purpose Building
- Special Use Property
- Sports / Health Club
- Subdivision
- Tavern
- Theater
- Timberland
- Train Station
- Truck Stop
- Truck Terminal
- Valet Parking Lot
- Veterinarian Clinic
- Wetlands

The Principals have Prepared Reports for the Following:

(Reference names and numbers available upon request)

Financial Institutions

- Absolute Mortgage Solutions
- Atlantic National Trust
- The Adams National Bank
- Bank of Western Massachusetts
- Bayview Financial LP
- BankNewport
- TD Bank, N.A. (Banknorth)
- Celtic Bank Corporation
- Connecticut Bank & Trust – CBT
- Connecticut River Community Bk
- Commonwealth National Bank
- Credit Financial Services, Inc.
- Citicorp Real Estate, Inc.
- Citizens Financial Group
- Collinsville Savings Society
- Evangelical Christian Credit Union
- Eastern Savings Bank
- Fairfield County Bank
- Farmington Bank
- First National Bank of Litchfield
- First Trade Union Bank
- Fleet National Bank
- Guaranty Federal
- Hampden Bank
- Hudson United Bank
- Interbay Funding
- Independence Bank
- Intervest National Bank
- Liberty Bank
- Litchfield Bancorp
- LSQ Funding
- Mercury Real Estate Services
- Naugatuck Valley Savings & Loan
- National Cooperative Bank
- New Alliance Bank
- New England Bank
- Newport Federal Savings Bank
- NewMil Bank
- Newtown Savings Bank
- Northwest Community Bank
- Ocean and Investment Bank, FSB
- Pace Realty Advisors
- People's United Bank
- Rockville Bank
- Savings Bank of Manchester
- Simsbury Bank
- Silverhill Financial Services
- Sky Bank
- StonehamBank
- The Simsbury Bank
- State Bank of Texas
- Sovereign Bank
- Thomaston Savings Bank
- Union Savings Bank
- United Bank US Trust
- Valley National Ban

Government Agencies / Others

- Webster Bank
- Webster First Federal Credit Union
- Windsor Federal Savings
- Bristol Hospital
- Capitol Region Education Council
- City of Bristol
- City of Danbury
- City of Meriden
- New Britain Consolidated Schools
- City of Norwalk
- City of Waterbury
- City of New Haven
- Connecticut Urban Legal Initiative, Inc.
- Connecticut Business Credit
- Connecticut Department of Environmental Protection
- Connecticut Department of Transportation
- Cumberland Gulf Group of Comp.
- Farmington Land Trust
- Fidelity National Trust Group
- Farm Credit East, ACA
- Federal Deposit Insurance Corporation
- Housatonic Valley Land Trust
- Metropolitan District Commission
- Middlesex Hospital
- Naromi Land Trust
- National Park Service
- Numerous Attorneys
- Salvation Army
- Southbury Land Trust
- Town of Farmington
- Town of Glastonbury
- Town of Killingly
- Town of Mansfield
- Town of Hebron
- Town of Lyme
- Town of New Milford
- Town of Newton
- Town of Putnam
- Town of Rocky Hill
- Town of Simsbury
- Town of Southington
- Town of Bloomfield
- Town of Simsbury
- Town of Southwick MA
- Town of Sterling
- Town of Stratford
- Town of Wallingford
- Town of Westport
- Town of West Haven
- Town of Windsor
- Town of East Hampton
- University of Connecticut
- Various Trusts
- Windham Hospital
- Government and Private Clients

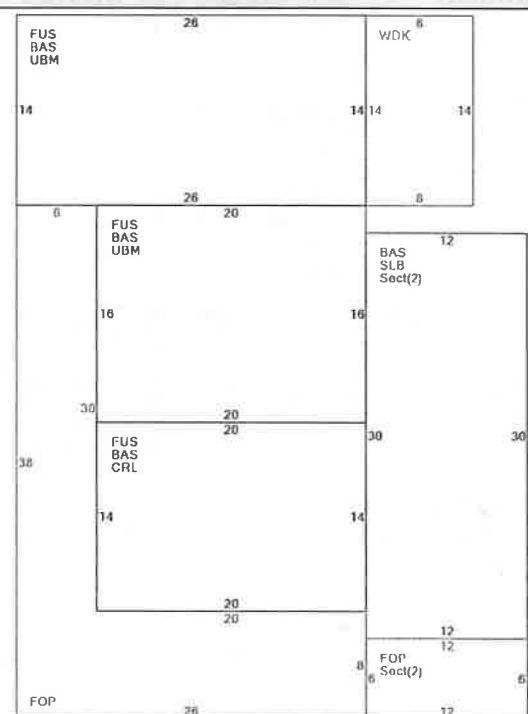


ADDENDA

CURRENT OWNER			TOPO		UTILITIES		STRT/ROAD		LOCATION		CURRENT ASSESSMENT				6056 GRANBY, CT					
GRANBY TOWN OF 15 NORTH GRANBY RD											Description		Code	Appraised			Assessed			
			Alt Prcl ID 12900083		Taxable N		Sub Div		Exempt Y		Census Tr 468102		EX COM LN		21	198,300	138,810			
GRANBY CT 06035							DMailer		4355		EX COM BL		22	157,800	110,460					
											EX CM OTB		25	23,900	16,730					
													Total		380,000	266,000				
RECORD OF OWNERSHIP			BK-VOL/PAGE		SALE DATE		Q/U	V/I	SALE PRICE		VC	PREVIOUS ASSESSMENTS (HISTORY)								
GRANBY TOWN OF GRANBY TOWN OF DEUTSCHE BANK NATIONAL COMPANY TR BURNS PATRICIA A + MCDUNNAH LISAA BURNS JAMES A &			0436	1066	04-27-2020	U	V	90,000		15	Year	Code	Assessed	Year	Code	Assessed	Year	Code	Assessed	
			0378	0963	08-12-2011	U	I	0		14	2022	21	138,810	2022	21	138,810	2021	21	138,600	
			0376	0927	05-02-2011	U	I	0			22	22	110,460	22	22	110,460	25	22	86,660	
			0341	0707	03-05-2007	U	I	0			25	25	16,730	25	25	16,730	25	25	3,850	
			0253	0941	09-07-2001	U	I	0			Total	266,000	Total	266,000	Total	266,000	Total	229,110		
EXEMPTIONS			OTHER ASSESSMENTS						This signature acknowledges a visit by a Data Collector or Assessor											
Year	Code	Description		Amount		Code	Description		Number	Amount		Comm Int	APPRaised VALUE SUMMARY							
			Total		0.00															
ASSESSING NEIGHBORHOOD																				
Nbhd		Nbhd Name		B		Tracing				Batch				Appraised Bldg. Value (Card)						
100														157,800						
NOTES																				
RENT TO FRESHIES CAFE																				
DB TC MAP #2900																				
FUNC=BSMNT TC MAP #2938																				
TC MAP #2671																				
PARKING LOT FOR DELI																				
OWNED BY TOWN																				
BUILDING PERMIT RECORD																				
Permit Id	Issue Date	Type	Description		Amount	Insp Date	% Comp	Date Comp	Comments				Date	Id	Type	Is	Cd	VISIT / CHANGE HISTORY		
94700	12-05-2013	CM	Commercial		30,000	10-25-2014	100		BAS/SLB				01-27-2022	BL			11	Field Review		
93356	07-11-2012	RE	Remodel		4,000	12-06-2013	100						11-05-2021	RH			01	Measured		
93255	06-05-2012	PL	Plumbing		4,000	09-20-2012	100						09-26-2019	TM			11	Field Review		
93194	05-14-2012	EL	Electric		1,500	09-20-2012	100						05-24-2017	BL			11	Field Review		
93178	05-09-2012	RS	Residential		37,000	09-20-2012	100						12-11-2015	TM			11	Field Review		
92497	08-16-2011	DE	Demolish		20,000	09-20-2012	100						10-25-2014	TM			12	Bldg Permit M.L.		
20993	05-18-2000					10-01-2003	100						12-06-2013	TM			11	Field Review		
LAND LINE VALUATION SECTION																				
B	Use Code	Description		Zone	LA	Land Type	Land Units	Unit Price	Size Adj	Site Index	Cond.	Nbhd.	Nbhd. Adj	Notes	Spec Use	PA490 Val	Spec Calc	Locatio	Adj	Land Valu
1	9030	MUNICIPAL M94		T1			1.000	AC	94,500.00	1.00000	C	1.00	B	1.400		0		1.0000		132,300
1	9030	MUNICIPAL M94		T1			0.500	AC	94,500.00	1.39682	C	1.00		1.000		0		1.0000		66,000
Total Card Land Units						1.50	AC	Parcel Total Land Area: 1.50						Total Land Value						198,300

CONSTRUCTION DETAIL			CONSTRUCTION DETAIL (CONTINUED)							
Element	Cd	Description	Element	Cd	Description					
Style: 30		Restaurant								
Model 94		Commercial								
Grade 03		Average								
Stories: 2										
Occupancy 1.00										
Exterior Wall 1 25		Vinyl Siding								
Exterior Wall 2 03										
Roof Structure 03		Gable								
Roof Cover 03		Asphalt								
Interior Wall 1 05		Drywall								
Interior Wall 2 12										
Interior Floor 1 14		Hardwood								
Interior Floor 2 03		Carpet								
Heating Fuel 05		Gas								
Heating Type 03		Hot Water								
AC Type 9030		Central								
Bldg Use MUNICIPAL M94										
Total Rooms 6										
Total Bedrms 2										
Total Baths 1										
Heat/AC 00		NONE								
Frame Type 02		WOOD FRAME								
Baths/Plumbing 02		AVERAGE								
Ceiling/Wall 06		CEIL & WALLS								
Rooms/Prtns 02		AVERAGE								
Wall Height 8.00										
% Conn Wall 0.00										
1st Floor Use:										
OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)										
Code	Description	L/B	Units	Unit Price	Yr Bld	Cond. Cd	% Good	Grade	Grade Adj	Appr. Value
LT1	LIGHTS-IN W/P	L	3	690.00	2019		90		0.00	1,900
PAV1	PAVING-ASPH	L	14,656	2.00	2018		75		0.00	22,000

BUILDING SUB-AREA SUMMARY SECTION						
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value
BAS	First Floor	964	964			
CRL	Crawl Space	0	280			
FOP	Porch, Open	0	388			
FUS	Upper Story, Finished	964	964			
UBM	Basement, Unfinished	0	684			
WDK	Deck, Wood	0	112			
Ttl Gross Liv / Lease Area		1,928	3,392	2,206		



Property Location 83 SALMON BROOK ST
Vision ID 4355 Account # 1-2-83

Map ID I-51/ 83/ 17//

Bldg # 1

Bldg Name
Sec # 2 of 2 Card # 2 of 2

State Use 9030
Print Date 08-08-2023 12:13:10

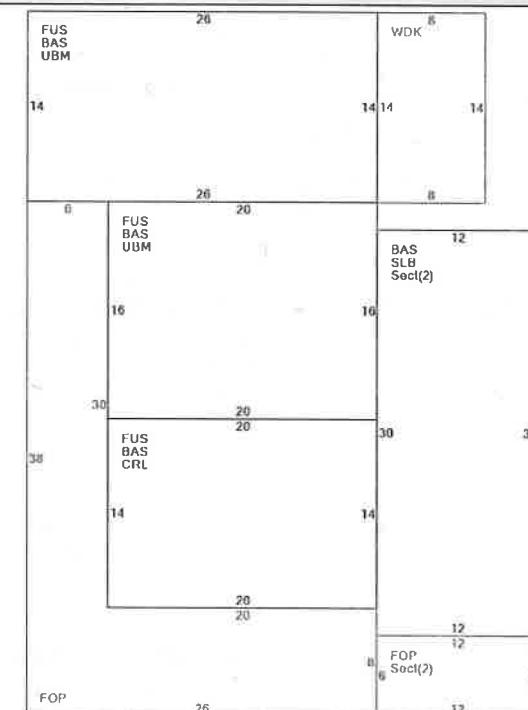
CURRENT OWNER				TOPO		UTILITIES		STRT/ ROAD		LOCATION		CURRENT ASSESSMENT				6056 GRANBY, CT VISION					
GRANBY TOWN OF 15 NORTH GRANBY RD												Description		Code	Appraised		Assessed				
				EX COM LN		21	198,300	138,810													
GRANBY CT 06035				Alt Prcl ID 12900083		Taxable N		Sub Div		Exempt Y		EX COM BL		22	157,800		110,460				
				Census Tr 468102		Images		GIS ID 12900083		DMailer		Assoc Pid#		EX CM OTB			25	23,900	16,730		
												Total		380,000	266,000						
												PREVIOUS ASSESSMENTS (HISTORY)									
GRANBY TOWN OF GRANBY TOWN OF DEUTSCHE BANK NATIONAL COMPANY TR BURNS PATRICIA A + MCDUNNAH LISAA BURNS JAMES A &				0436 1066		04-27-2020		U	V	0	Year	Code	Assessed	Year	Code	Assessed	Year	Code	Assessed		
				0378 0963		08-12-2011		U	I	90,000	2022	21	138,810	2022	21	138,810	2021	21	138,600		
				0376 0927		05-02-2011		U	I	0		22	110,460		22	110,460		22	86,660		
				0341 0707		03-05-2007		U	I	0		25	16,730		25	16,730		25	3,850		
				0253 0941		09-07-2001		U	I	0	Total		266,000	Total		266,000	Total		229,110		
																This signature acknowledges a visit by a Data Collector or Assessor					
EXEMPTIONS				OTHER ASSESSMENTS											APPRAISED VALUE SUMMARY						
Year	Code	Description		Amount	Code	Description		Number	Amount	Comm Int	Appraised Bldg. Value (Card) 157,800										
											Appraised Xf (B) Value (Bldg) 0										
Total		0.00									Appraised Ob (B) Value (Bldg) 23,900										
ASSESSING NEIGHBORHOOD																Appraised Land Value (Bldg) 198,300					
Nbhd		Nbhd Name		B	Tracing		Batch		Special Land Value 0												
100									Total Appraised Parcel Value 380,000												
NOTES																Valuation Method C					
RENT TO FRESHIES CAFE																Total Appraised Parcel Value 380,000					
TC MAP #2900																					
TC MAP #2938																					
DB																					
FUNC=BSMNT																					
TC MAP #2671																					
PARKING LOT FOR DELI																					
OWNED BY TOWN																					
BUILDING PERMIT RECORD																VISIT / CHANGE HISTORY					
Permit Id	Issue Date	Type	Description		Amount	Insp Date	% Comp	Date Comp	Comments			Date	Id	Type	Is	Cd	Purpose/Result				
94700	12-05-2013	CM	Commercial		30,000	10-25-2014	100		BAS/SLB			01-27-2022	BL			11	Field Review				
93356	07-11-2012	RE	Remodel		4,000	12-06-2013	100		NEW GAS BOILER/SINKS			11-05-2021	RH			01	Measured				
93255	06-05-2012	PL	Plumbing		4,000	09-20-2012	100		400 AMP SVC UNDERGROU			09-26-2019	TM			11	Field Review				
93194	05-14-2012	EL	Electric		1,500	09-20-2012	100		INSTALL, UPDATE, REPAIR,			05-24-2017	BL			11	Field Review				
93178	05-09-2012	RS	Residential		37,000	09-20-2012	100		DEMO DET GARAGE			12-11-2015	TM			11	Field Review				
92497	08-16-2011	RS	Demolish		20,000	09-20-2012	100		ADDITION			10-25-2014	TM			12	Bldg Permit M.L.				
20993	05-18-2000	DE				10-01-2003	100					12-06-2013	TM			11	Field Review				
LAND LINE VALUATION SECTION																					
B	Use Code	Description		Zone	LA	Land Type	Land Units	Unit Price	Size Adj	Site Index	Cond.	Nbhd.	Nbhd. Adj	Notes	Spec Use	PA490 Val	Spec Calc	Locatio	Adj	Land Valu	
1	9030	MUNICIPAL M94		T1			1.000	AC	94,500.00	1.00000	C	1.00	B	1.400		0		1.0000		132,300	
1	9030	MUNICIPAL M94		T1			0.500	AC	94,500.00	1.39682	C	1.00		1.000		0		1.0000		66,000	
Total Card Land Units										1.50	AC	Parcel Total Land Area: 1.50				Total Land Value					198,300

CONSTRUCTION DETAIL			CONSTRUCTION DETAIL (CONTINUED)		
Element	Cd	Description	Element	Cd	Description
Style:	30	Restaurant			
Model	94	Commercial			
Grade	03	Average			
Stories:	2				
Occupancy	1.00		MIXED USE		
Exterior Wall 1	25	Vinyl Siding	Code	Description	
Exterior Wall 2			9030	MUNICIPAL M94	100
Roof Structure	03	Gable			0
Roof Cover	03	Asphalt			0
Interior Wall 1	05	Drywall	COST / MARKET VALUATION		
Interior Wall 2					
Interior Floor 1	11	Ceram Clay Til	RCN		245,917
Interior Floor 2					
Heating Fuel	03	Gas	Year Built	2014	
Heating Type	04	Forced Air-Duc	Effective Year Built		
AC Type	03	Central	Depreciation Code	G	
Bldg Use	9030	MUNICIPAL M94	Remodel Rating		
Total Rooms	6		Year Remodeled	2014	
Total Bedrms	2		Depreciation %	7	
Total Baths	1		Functional Obsol		
Heat/AC	01	HEAT/AC PKGS	External Obsol	0	
Frame Type	02	WOOD FRAME	Trend Factor	1	
Baths/Plumbing	02	AVERAGE	Condition		
Ceiling/Wall	06	CEIL & WALLS	Condition %		
Rooms/Prtns	02	AVERAGE	Percent Good	93	
Wall Height	8.00		RCNL	157,800	
% Comm Wall	0.00		Dep % Ovr		
1st Floor Use:			Dep Ovr Comment		
			Misc Imp Ovr		
			Misc Imp Ovr Comment		
			Cost to Cure Ovr		
			Cost to Cure Ovr Comment		

OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(R)

BUILDING SUB-AREA SUMMARY SECTION

BUILDING SUB-AREA SUMMARY SECTION						
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value
BAS	First Floor	360	360			
FOP	Porch, Open	0	72			
SLB	Slab	0	360			
Ttl Gross Liv / Lease Area		360	792	382		



VOLUME 378

963

Record and Return to:

SPECIAL WARRANTY DEED

TO ALL PEOPLE TO WHOM THESE PRESENTS SHALL COME, GREETING:

KNOW YE THAT, DEUTSCHE BANK NATIONAL TRUST COMPANY, AS INDENTURE TRUSTEE, ON BEHALF OF THE OWNERS OF THE ACCREDITED MORTGAGE LOAN TRUST 2004-4 ASSET BACKED NOTES, acting herein by Select Portfolio Servicing, Inc., its Attorney-in-Fact (hereinafter referred to as "Grantor"), for the consideration of **NINETY THOUSAND and 00/100 DOLLARS (\$90,000.00)**, received to its full satisfaction of **TOWN OF GRANBY CONNECTICUT** (hereinafter referred to as "Grantee"), does give, grant, bargain, sell and confirm unto the Grantee, its successor and assigns forever, the following described real property.

That certain piece or parcel of land situated in the Town of Granby, County of Hartford and State of Connecticut, known as **83 Salmon Brook Street**, and more particularly described in **SCHEDULE A** attached hereto and made apart hereof.

TO HAVE AND TO HOLD the above granted and bargained premises, with the appurtenances thereof, unto the said Grantee, its successors and assigns forever, to it and its own proper use and behoof.

AND ALSO, it, the said Grantor, does for itself, its successors and assigns, covenant with the said Grantee, its successors and assigns, that Grantor has not done or suffered anything whereby the said real property has been encumbered in any way whatsoever, except as aforesaid.

This Deed is being executed by **Select Portfolio Servicing, Inc., Attorney-in-Fact** for **DEUTSCHE BANK NATIONAL TRUST COMPANY, AS INDENTURE TRUSTEE, ON BEHALF OF THE OWNERS OF THE ACCREDITED MORTGAGE LOAN TRUST 2004-4 ASSET BACKED NOTES** under a certain Limited Power of Attorney dated April 16, 2010. In executing this Deed, **Select Portfolio Servicing, Inc., Attorney-in-Fact**, hereby certifies that said Power of Attorney is still in full force and effect, and has not been altered, amended and/or terminated. We further certify that we have not received any notice, either written or constructive, from our principal, **DEUTSCHE BANK NATIONAL TRUST COMPANY, AS INDENTURE TRUSTEE, ON BEHALF OF THE OWNERS OF THE ACCREDITED MORTGAGE LOAN TRUST 2004-4 ASSET BACKED NOTES** that said Power of Attorney has been amended and/or revoked.

Conveyance Tax Received
\$ *160* Town of Granby
\$ *160* CT Rev Service
Karen J. Flagan Town Clerk

VOLUME 378

964

IN WITNESS WHEREOF, the Grantor has hereunto set its hand and seal this
3rd day of August, 2011.

Signed, sealed and delivered
 in the presence of:



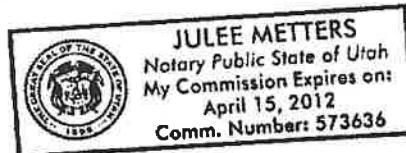
DEUTSCHE BANK NATIONAL TRUST
 COMPANY, AS INDENTURE TRUSTEE, ON
 BEHALF OF THE OWNERS OF THE
 ACCREDITED MORTGAGE LOAN TRUST
 2004-4 ASSET BACKED NOTES, acting herein
 by Select Portfolio Servicing, Inc., its Attorney-
 in-Fact

Charl Lindsey 08/03/11
 Charl Lindsey, REO Closer
Becky Christensen
 STATE OF UTAH)
) ss:
 COUNTY OF SALT LAKE)

By: *Cheryl Krueger* 8-3-11
 CHERYL E. KRUEGER, DOC. CONTROL OFFICER
 Its
 Duly Authorized

On this the 3rd day of August, 2011, personally appeared

CHERYL E. KRUEGER, DOC. CONTROL OFFICER of Select Portfolio Servicing,
 Inc. as aforesaid, signer and sealer of the foregoing instrument and acknowledged the same to be
 his/her free act and deed and the free act and deed of said Grantor, before me.



Julee Metters
 Notary Public Julee Metters
 My Commission Expires: 4-15-12

VOLUME 378

965

Schedule A

Certain real estate situated in the Town of Granby, County of Hartford and State of Connecticut located on the Westerly-side of the College Highway, also known as 63 Salmon Brook Street, and being bounded and described as follows, to wit:

Northerly: by land now or formerly of Joseph Matuk;

Easterly: by said College Highway;

Southerly: by land now or formerly of Anna E. Alderman; and

Westerly: by land now or formerly of George Ybaraki.

Parcel Tax I.D. # 12800083

Commonly known as: 63 Salmon Brook Street, Granby, CT 06035

Received for record
August 12, 2011 at 9:22AM

by *Karen J. Hagen*
Town Clerk



Doc ID: 001019100003 Type: LAN

BK 436 PG 1066-1068

RECORD & RETURN TO:
Abigail St. Peter Kenyon, AICP
Director of Community Development
Granby Town Hall
15 North Granby Road
Granby, CT 06035

WARRANTY DEED – STATUTORY FORM

TO ALL PERSONS TO WHOM THESE PRESENTS SHALL COME, KNOW YE THAT **UPSTREAM PROPERTIES, LLC**, a Limited Liability Company organized and existing under the laws of the State of Connecticut, with its principal place of business located at 70 West Street, Danbury, Connecticut 06810, for **NO CONSIDERATION**, grants to **THE TOWN OF GRANBY**, a municipal corporation organized and existing under the laws of the State of Connecticut, located in Hartford County, Connecticut, with **WARRANTY COVENANTS**, all that certain real property more particularly described on *Schedule A* attached hereto and made a part hereof.

Said Premises are conveyed subject to:

1. Any and all provisions of any municipal, ordinance or regulation or public or private law with special reference to the provisions of any zoning regulations and regulations governing the said Premises.
2. Real property taxes on the current Grand List and any municipal liens or assessments becoming due and payable on or after the delivery of this Deed.
3. Such additional encumbrances, if any, as more particularly set forth in *Schedule A* attached hereto.

In all references herein to any parties, persons, entities or corporations, the use of any particular gender or the plural or singular number is intended to include the appropriate gender or number as the text of the within instrument may require.

Balance of page intentionally left blank – signature page to follow

Conveyance Tax Received
\$ **NONE** Town of Granby
\$ **NONE** CT Rev Service
Karen Flagan Town Clerk

IN WITNESS WHEREOF, the Grantor has caused these presents to be executed on this 1st day of April, 2020.

UPSTREAM PROPERTIES, LLC

By: Robert R. Gleason
Its Member, duly authorized

Signed, sealed and delivered in the presence of or attested by:

Witness: Gary R. Michael Jr.
Gary R. Michael Jr.

Witness: Kim M. Burnham
Kim M. Burnham

STATE OF CONNECTICUT

COUNTY OF FAIRFIELD

} ss. Danbury

Personally appeared ROBERT R.GLEASON, duly authorized Member of UPSTREAM PROPERTIES, LLC, signer and sealer of the foregoing instrument, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that he executed the same for the purposes therein contained in the capacity therein stated, before me, on this 1st day of April, 2020.

Gary R. Michael Jr.
Gary R. Michael Jr.
Commissioner of the Superior Court

SCHEDULE A

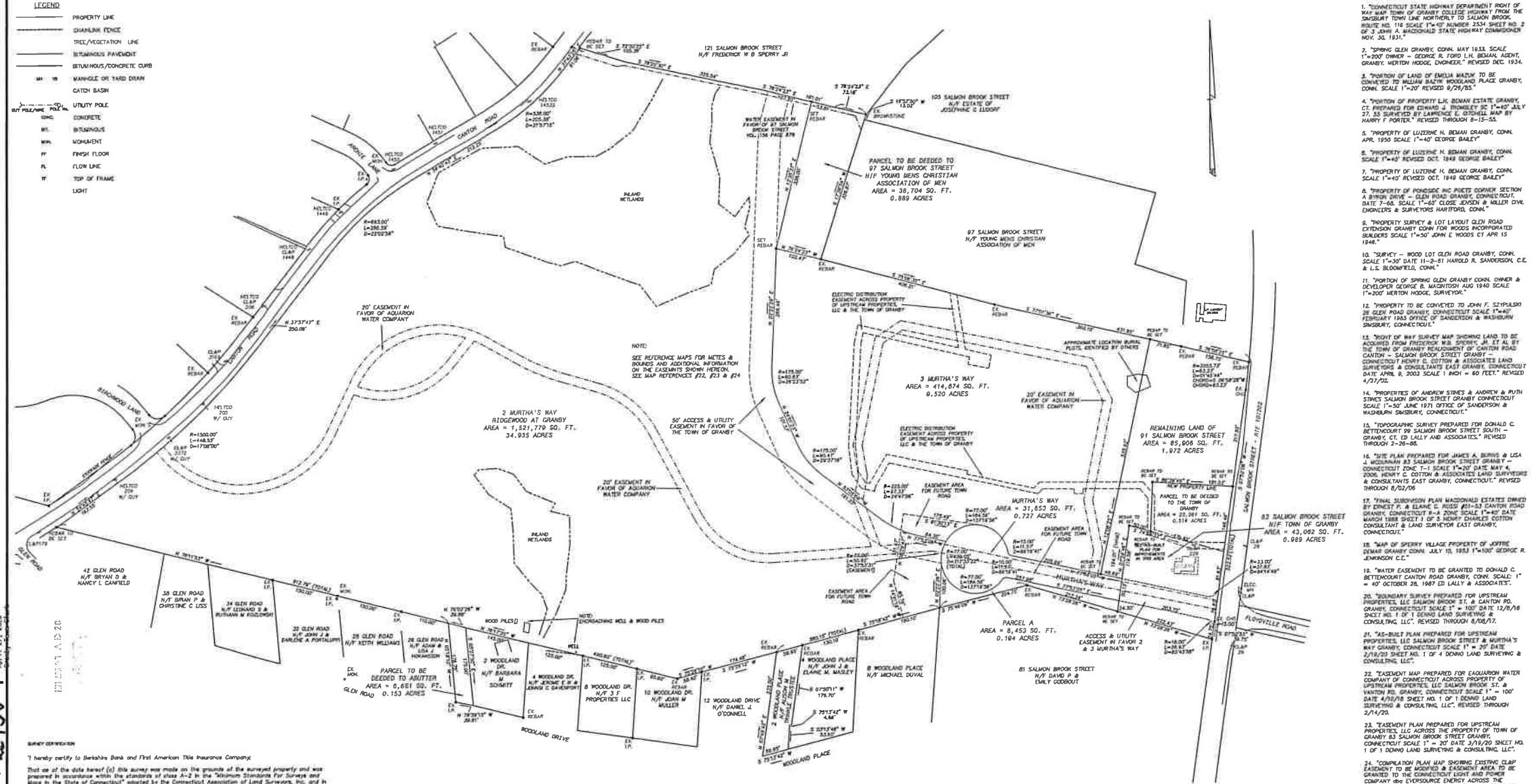
ALL THAT CERTAIN piece or parcel of land, located in the Town of Granby, County of Hartford and State of Connecticut, shown and designated as "PARCEL TO BE DEEDED TO THE TOWN OF GRANBY AREA = 22,381 SQ. FT. 0.514 ACRES" on that certain map entitled "Parcel Map Prepared For Upstream Properties, LLC Salmon Brook St. & Canton Rd. Granby, Connecticut", Scale 1"= 100', Dated 3/21/18, Revised 3/19/20, Sheet 1 of 1", prepared by Denno Land Surveying & Consulting, LLC, 2 Tunxis Rd. Ste. 203, Tarriffville, CT 06081, which map is filed with the office of the Town Clerk of Granby as Map Number 2938-1.

Said premises are also subject to:

- 1) Terms and conditions of a Special Permit issued by the Granby Planning and Zoning Commission, approved April 11, 2017 and recorded in Volume 421 at Page 1003 of the Granby Land Records.
- 2) Letter from the State of Connecticut Department of Transportation re: Administrative Decision No. 509 dated March 26, 2018 and recorded in Volume 424 at Page 816 of the Granby Land Records.
- 3) Easement Agreement in favor of Connecticut Natural Gas Corporation dated April 13, 2018 and recorded in Volume 425 at Page 989 of the Granby Land Records.
- 4) Terms and conditions of an Agreement by and between Upstream Properties, LLC and the Town of Granby dated September 17, 2018 and recorded in Volume 427 at Page 859 of the Granby Land Records.
- 5) Terms and conditions of an Access, Utility, Landscaping and Signage Easement from the Town of Granby to Upstream Properties, LLC dated September 17, 2018 and recorded in Volume 427 at Page 868 of the Granby Land Records.
- 6) Terms and conditions of an Agreement by and between Upstream Properties, LLC and the Town of Granby dated September 26, 2018 and recorded in Volume 427 at Page 983 of the Granby Land Records.
- 7) Electric Distribution Easement in favor of The Connecticut Light and Power Company as set forth in a grant dated September 18, 2018 and recorded in Volume 427 at Page 1069 of the Granby Land Records.
- 8) Special Permit issued by the Granby Planning and Zoning Commission, approved November 27, 2018 and recorded in Volume 428 at Page 1100 of the Granby Land Records.
- 9) Maintenance Agreement in favor of the Town of Granby dated December 18, 2018 and recorded in Volume 428 at Page 1134 of the Granby Land Records.
- 10) Notes, notations, Inland Wetland areas, easements and existing improvements, all as set forth on Map No. 2907 filed in the Granby Town Clerk's Office.
- 11) Notes, notations, Inland Wetland areas, 50' access and utility easement and proposed boundary lines as set forth on Map No. 2908 filed in the Granby Town Clerk's Office.
- 12) State of facts as set forth on a certain map entitled "Ridgewood at Granby" which map is filed in the Granby Town Clerk's Office as Map No. 2902, Sheets 1, 2, and 3 of 3 Sheets.

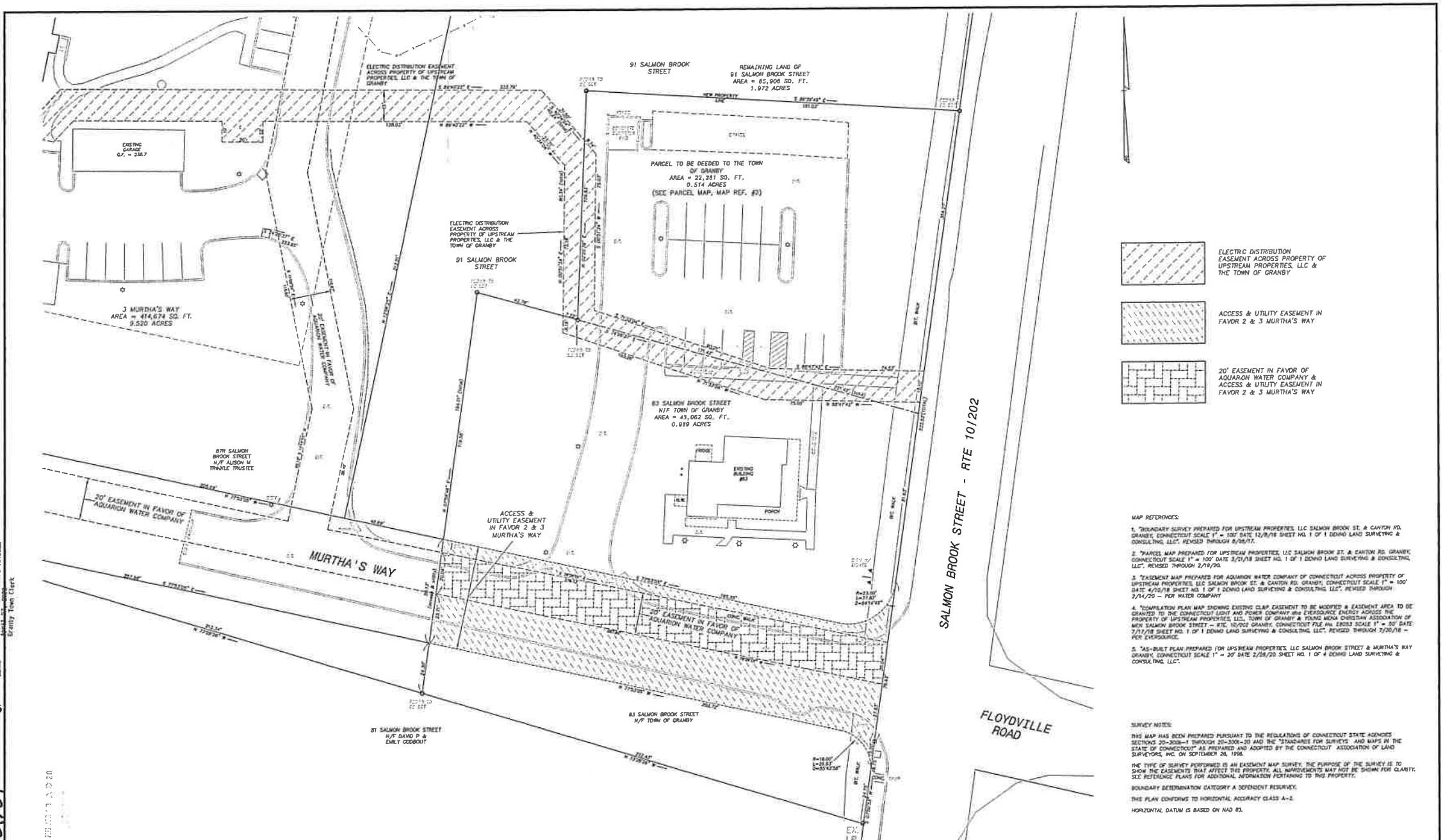
Received for Record at Granby, CT
On 04/27/2020 At 11:34:27 am


Karen J. Dwyer
Town Clerk

Vol. 69 #72938-1
Sheeted for Record 10-28-04
April 11, 2004

Vol. 69 # 2938-2

May 129312 of 3 Vol 69
Received for Record 10:28 a.m.



ORIGINAL INK ON
MYLAR BY
DENNO LAND
SURVEYING

GRAPHIC SCALE

10' 11' 12' 13' 14' 15' 16' 17' 18' 19' 20'

(IN FEET)

1' inch = .33' M



REVISIONS:

TO MY KNOWLEDGE AND BELIEF THIS MAP IS
SUBSTANTIALLY CORRECT AS NOTED HEREON

[Handwritten signature]

NOT VALID UNLESS THE SIGNATURE AND EXPIRED DATE ARE ATTACHED
DENNO LAND SURVEYING & CONSULTING, LLC

EASEMENT PLAN
PREPARED FOR
UPSTREAM PROPERTIES, LLC
ACROSS THE PROPERTY OF TOWN OF GRANBY
83 SALMON BROOK STREET
GRANBY, CONNECTICUT

SCALE	DATE	SHEET NO.
1"=20'	3/19/20	1 OF 1

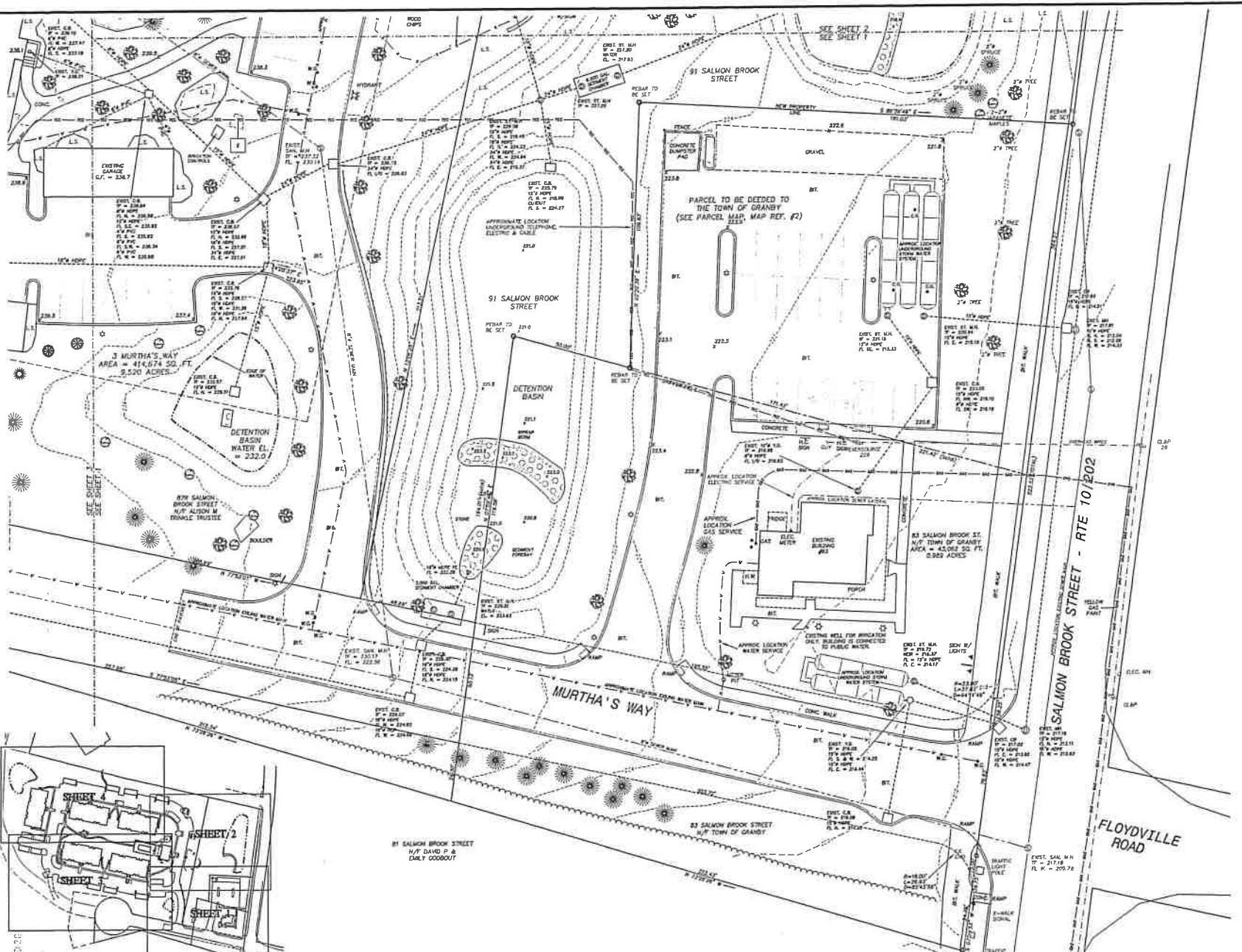
DRAWING NUMBER

DRAWING NUMBER
2938-2
LUDWIG PHOTOG. • NEW YORK, N.Y.

DRAWING NUMBER
169

DRAWING NUMBER

SEARCH BY KEYWORD

Vol. 69 IT 2938-3
MID 2338-3 of 3 " N. 69
Received for record 10/25/04
April 17, 2004
Utility Town Clerk

KEY PLAN

UTILITY STATEMENT
UNDERGROUND UTILITIES, STRUCTURES AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORDS MAINTAINED BY THE RESPECTIVE USEFUL COMPANIES AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE, ADDITIONALLY, OTHER SOURCE FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH IS UNKNOWN TO THIS SURVEYOR. THE SURVEYOR IS NOT RESPONSIBLE FOR SURVEYING THESE FEATURES. SURVEYOR MUST DETERMINE AND VERIFY BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-822-4455.

ORIGINAL INK ON
MYLAR BY
DENNO LAND
SURVEYING

GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft

LEGEND	
■ HILL	SPOT GRADE
□ CB	CATCH BASIN
ST MN	STORM MANHOLE
△ FE	FLARED END
● HY	HYDRANT
● GV	GATE VALVE
● HS	WATER SERVICE SHUT-OFF/STAKE
□ ET	ELECTRICAL TRANSFORMER
○ EL	3/4" ELECTRICAL SLD
□ EB	ELECTRICAL BOX
□ TB	TELEPHONE BOX
○ TH	TELEPHONE HANHOLE
□ CT	CABLE TELEVISION BOX
○ CT	CABLE TELEVISION DOME
● CO	CONDUIT
● FO	FIBER OPTICS SLD
● L	LIGHT
Wavy Line	EXISTING CONTOUR
Unit of Existing Vegetation	UNIT OF EXISTING VEGETATION
Property Line	PROPERTY LINE
Bituminous Pavement	BITUMINOUS PAVEMENT
Bituminous Concrete Curb	BITUMINOUS CONCRETE CURB
MN, YD	MANHOLE OR YARD DRAIN
CONC	CONCRETE
BT	BITUMINOUS
MNL	MONUMENT
FF	FINISH FLOOR
FL	FLOW LINE
EV	EVERGREEN TREE
BC	BIRCH CLUMP
2" T	2" TREE

DRAWING NUMBER

V. 69

2938-3

DRAWING NUMBER

MAP REFERENCES

1. "PARCEL MAP PREPARED FOR UPSTREAM PROPERTIES, LLC SALMON BROOK ST. & CANTON RD. CONNECTICUT SCALE 1" = 100' DATE 12/16/16 SHEET NO. 1 OF 1 DENNO LAND SURVEYING & CONSULTING, LLC. REVISED THROUGH 6/26/17.

2. "PARCEL MAP PREPARED FOR UPSTREAM PROPERTIES, LLC SALMON BROOK ST. & CANTON RD. GRANBY, CONNECTICUT SCALE 1" = 100' DATE 3/3/18 SHEET NO. 1 OF 1 DENNO LAND SURVEYING & CONSULTING, LLC. REVISED THROUGH 3/7/18.

3. "EASEMENT MAP PREPARED FOR AQUARIUM WATER COMPANY OF CONNECTICUT ACROSS PROPERTY OF UPSTREAM PROPERTIES, LLC SALMON BROOK ST. & CANTON RD. GRANBY, CONNECTICUT SCALE 1" = 100' DATE 4/10/18 SHEET NO. 1 OF 1 DENNO LAND SURVEYING & CONSULTING, LLC. REVISED THROUGH 2/7/19 - PER WATER COMPANY.

4. "EASEMENT MAP SHOWING EXISTING CLAP EASEMENT TO BE MOVED & EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY AND EVERSOURCE ENERGY ACROSS THE PROPERTY OF UPSTREAM PROPERTIES, LLC, TOWN OF GRANBY & YOUNG MEADOWS CONNECTICUT ACROSS PROPERTY OF MURTHA'S WAY, SALMON BROOK STREET - RTE 10/202 GRANBY, CONNECTICUT FILE #00033001 1" = 50' DATE 7/17/18 SHEET NO. 1 OF 1 DENNO LAND SURVEYING & CONSULTING, LLC. REVISED THROUGH 7/20/18 - FOR EVERSOURCE.

5. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300-1 THROUGH 20-300-20 AND THE "STANDARDS FOR SURVEYS" AND MAPS IN THE STATE OF CONNECTICUT AS PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

THE TYPE OF SURVEY PERFORMED IS AN IMPROVEMENT LOCATION SURVEY.

BOUNDARY DETERMINATION CATEGORY A-DEPENDENT SURVEY.

THIS PLAN CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.

HORIZONTAL DATUM IS BASED ON NAD 83.

WETLANDS IDENTIFIED IN THE FIELD BY ALONE & MACBROOM AND LOCATED BY DENNO LAND SURVEYING.

PROPERTY IS SUBJECT TO UTILITY EASEMENTS, EASEMENTS NOT SHOWN FOR CLARITY. SEE REFERENCE MAPS FOR EASEMENT DATA.

REVISIONS:
4/17/20 - FOR DESIGN ENGINEER

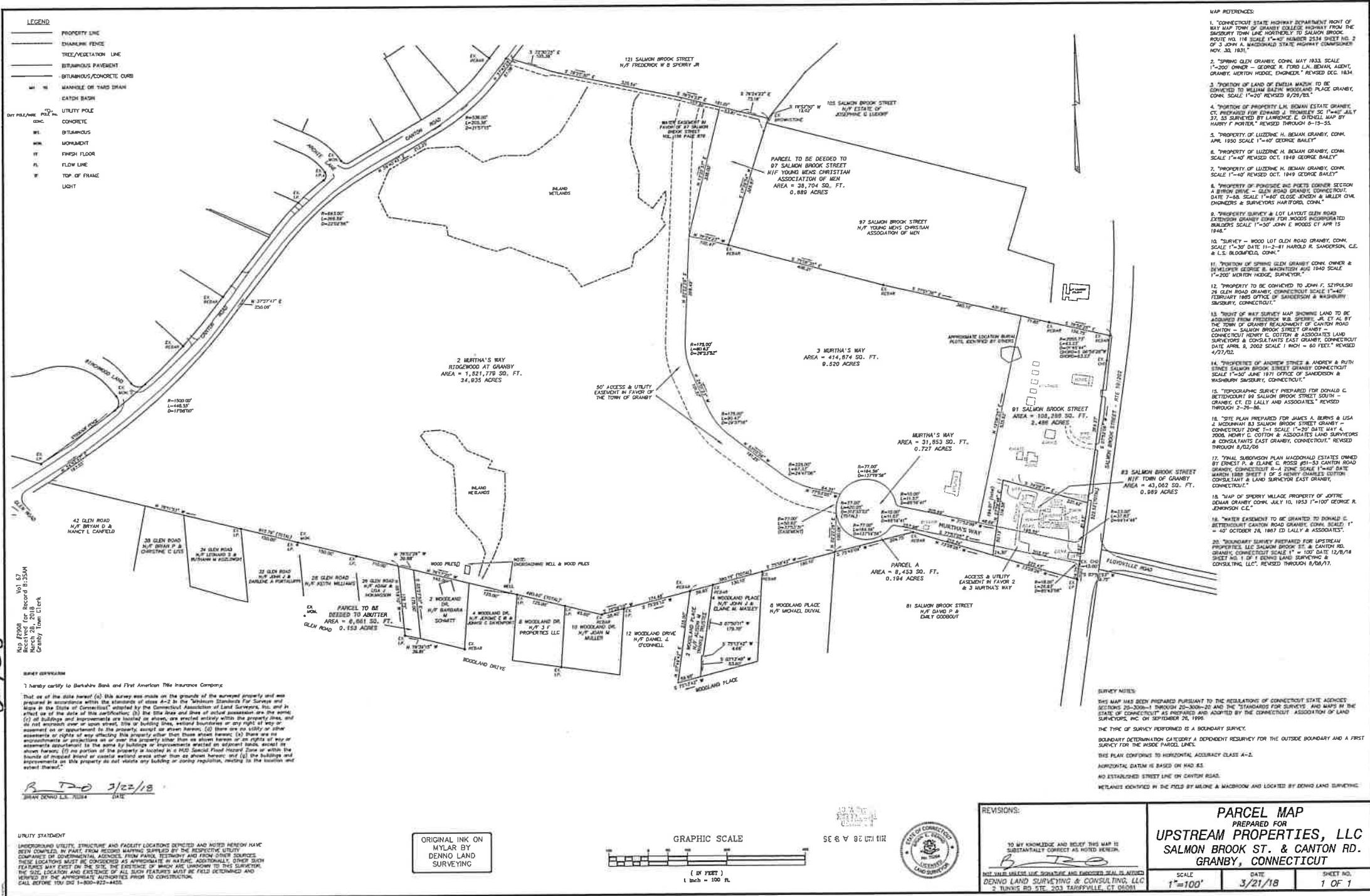


TO MY KNOWLEDGE AND BELIEF THIS MAP IS
SUBSTANTIALLY CORRECT AS NOTED HEREON.

NOTARIAL SIGNED, LINED, SIGNATURE AND ENCLASSED SEAL IS ATTACHED
DENNO LAND SURVEYING & CONSULTING, LLC
2 TUNIS RD STE. 214 TARIFFVILLE, CT 06081

AS-BUILT PLAN
PREPARED FOR
UPSTREAM PROPERTIES, LLC
SALMON BROOK STREET & MURTHA'S WAY
GRANBY, CONNECTICUT

SCALE
1"=20'
DATE
4/11/20
SHEET NO.
1 OF 4



TY STATEMENT
DETAILED UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND LISTED HEREON HAVE
BEEN COMPILED, IN PART, FROM RECORD MAPS SUPPLIED BY THE APPROPRIATE UTILITY
PARTIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES.
THE LOCATIONS MUST BE CONSIDERED APPROXIMATE AND ARE NOT TO BE DEPENDENT
UPON FOR CONSTRUCTION. THE LOCATIONS OF WATER, SEWER, GAS, TELEPHONE, ETC., ARE UNKNOWN
THEREFORE, THE LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED
AND APPROPRIATE AUTHORITY NOTIFIED PRIOR TO CONSTRUCTION.
BEFORE YOU DIAL 1-800-822-4425.

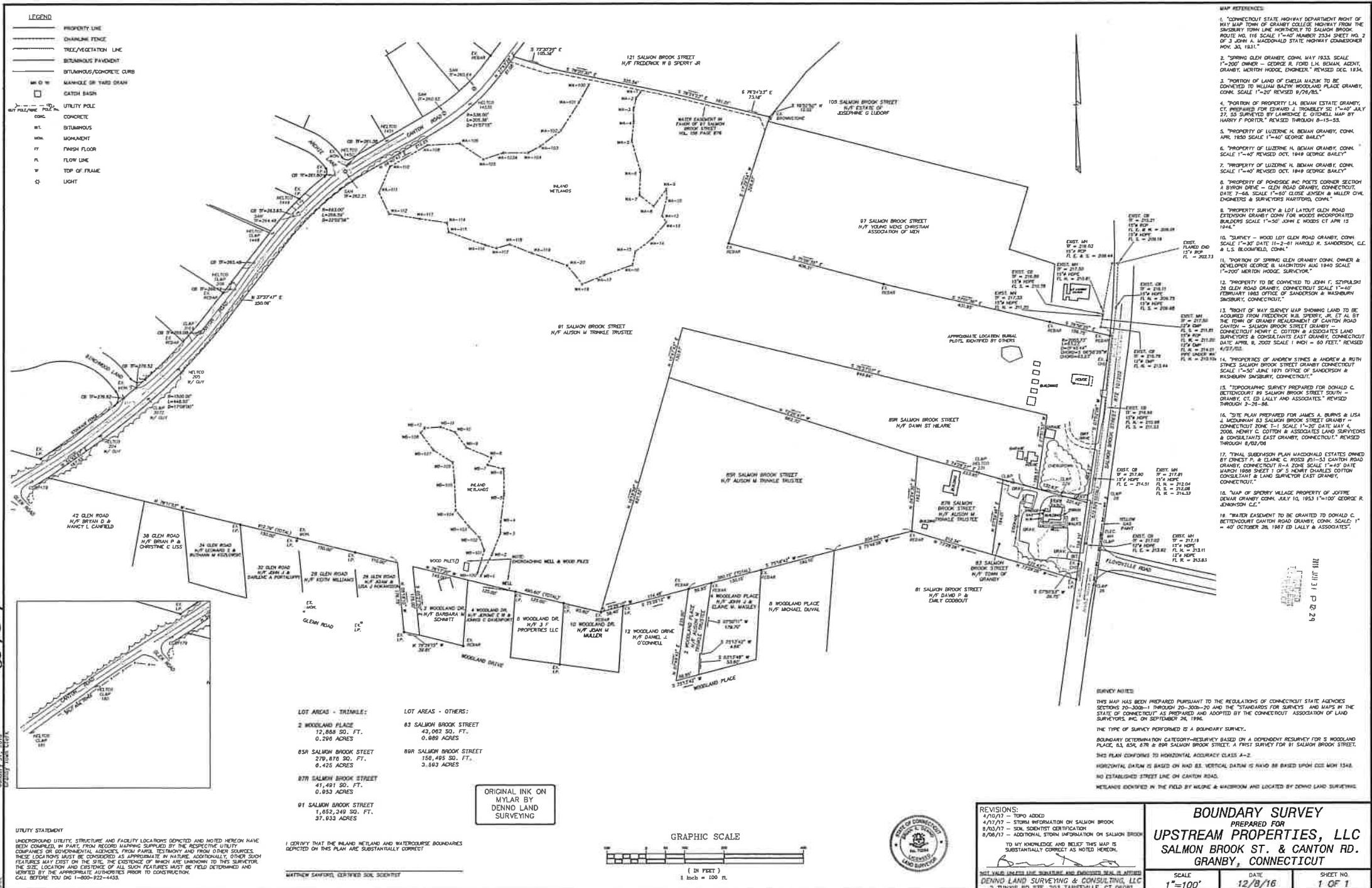
ORIGINAL INK ON
MYLAR BY
DENNO LAND
SURVEYING



REVISIONS:

PARCEL MAP
PREPARED FOR
UPSTREAM PROPERTIES, LLC
SALEM BROOK ST. & CANTON RD.
GRANBY, CONNECTICUT

2908 DRAWING NUMBER
IRON HOT IRON



1. CONFIRM THAT THE INLAND, WESTLAND, AND WATERHOUSE BOUNDARIES

ORIGINAL INK
MYLAR BY
DENNO LAND
SURVEYING

GRAPHIC SCALE

(IN FEET)

1 inch = 100 ft.



REVISIONS:
4/10/17 - 100 ADDITIONAL STORM INFORMATION ON SALMON BROOK
8/03/17 - SOIL SCIENTIST CERTIFICATION
8/08/17 - ADDITIONAL STORM INFORMATION ON SALMON BROOK

TO MY KNOWLEDGE AND BELIEF THIS MAP IS
SUBSTANTIALLY CORRECT AS NOTED HEREON.

BOUNDARY SURVEY
PREPARED FOR
UPSTREAM PROPERTIES, LLC
SALMON BROOK ST. & CANTON RD.
GRANBY, CONNECTICUT

SCALE DATE SHEET NO.
 $1''=100'$ 12/8/16 1 OF 1

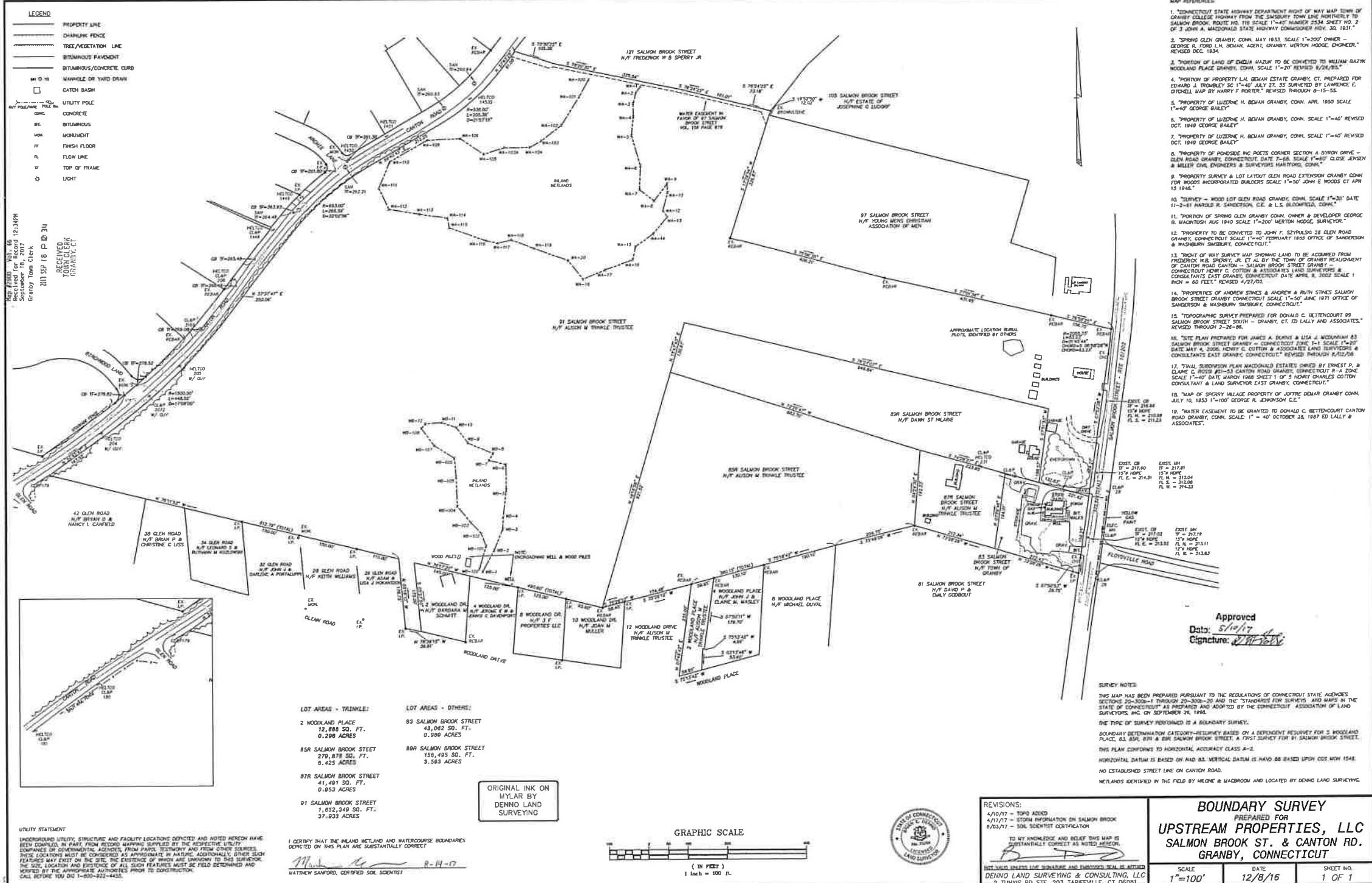
DRAWING NUMBER

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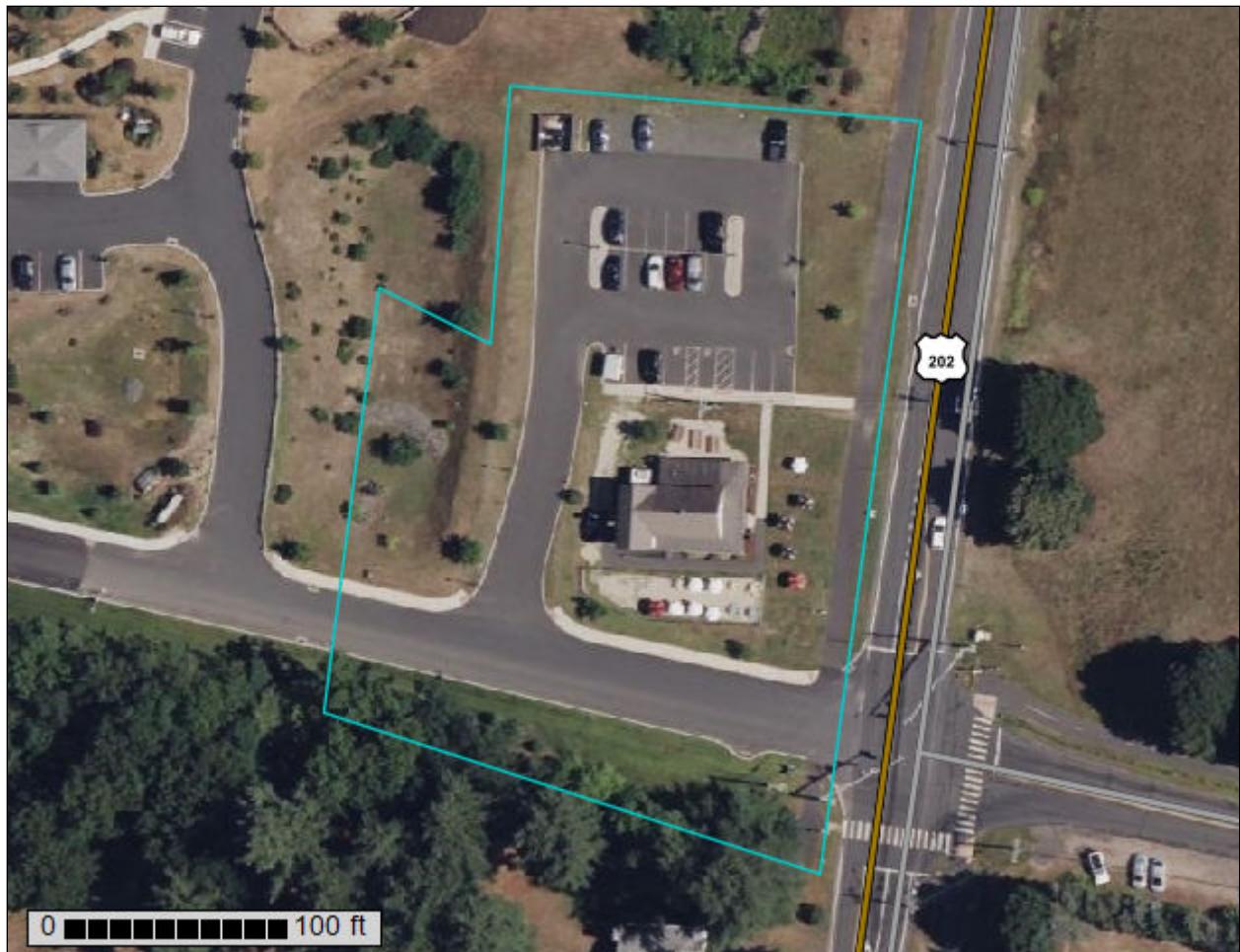
United States
Department of
Agriculture



Natural
Resources
Conservation
Service

A product of the National Cooperative Soil Survey, a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local participants

Custom Soil Resource Report for State of Connecticut



Custom Soil Resource Report
Soil Map



Soil Map may not be valid at this scale.

41° 55' 47" N

W

72° 47' 27" W

41° 55' 47" N

W

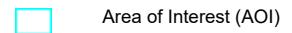
72° 47' 23" W

Map Scale: 1:630 if printed on A portrait (8.5" x 11") sheet.
0 5 10 20 30
Meters

0 30 60 120 180
Feet
Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 18N WGS84

MAP LEGEND

Area of Interest (AOI)



Area of Interest (AOI)

Soils



Soil Map Unit Polygons



Soil Map Unit Lines



Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot

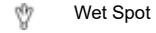
Spoil Area



Stony Spot



Very Stony Spot



Wet Spot

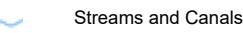


Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: State of Connecticut

Survey Area Data: Version 22, Sep 12, 2022

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jun 14, 2022—Oct 6, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
34A	Merrimac fine sandy loam, 0 to 3 percent slopes	1.3	86.5%
38C	Hinckley loamy sand, 3 to 15 percent slopes	0.2	13.5%
Totals for Area of Interest		1.5	100.0%

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however,

onsite investigation is needed to define and locate the soils and miscellaneous areas.

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

State of Connecticut

34A—Merrimac fine sandy loam, 0 to 3 percent slopes

Map Unit Setting

National map unit symbol: 2tyqr

Elevation: 0 to 1,100 feet

Mean annual precipitation: 36 to 71 inches

Mean annual air temperature: 39 to 55 degrees F

Frost-free period: 140 to 240 days

Farmland classification: All areas are prime farmland

Map Unit Composition

Merrimac and similar soils: 85 percent

Minor components: 15 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Merrimac

Setting

Landform: Outwash plains, outwash terraces, moraines, eskers, kames

Landform position (two-dimensional): Summit, shoulder, backslope, footslope

Landform position (three-dimensional): Crest, side slope, riser, tread

Down-slope shape: Convex

Across-slope shape: Convex

Parent material: Loamy glaciofluvial deposits derived from granite, schist, and gneiss over sandy and gravelly glaciofluvial deposits derived from granite, schist, and gneiss

Typical profile

Ap - 0 to 10 inches: fine sandy loam

Bw1 - 10 to 22 inches: fine sandy loam

Bw2 - 22 to 26 inches: stratified gravel to gravelly loamy sand

2C - 26 to 65 inches: stratified gravel to very gravelly sand

Properties and qualities

Slope: 0 to 3 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Somewhat excessively drained

Runoff class: Very low

Capacity of the most limiting layer to transmit water (Ksat): Moderately high to very high (1.42 to 99.90 in/hr)

Depth to water table: More than 80 inches

Frequency of flooding: None

Frequency of ponding: None

Calcium carbonate, maximum content: 2 percent

Maximum salinity: Nonsaline (0.0 to 1.4 mmhos/cm)

Sodium adsorption ratio, maximum: 1.0

Available water supply, 0 to 60 inches: Low (about 4.6 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 2s

Hydrologic Soil Group: A

Ecological site: F145XY008MA - Dry Outwash

Hydric soil rating: No

Minor Components

Sudbury

Percent of map unit: 5 percent

Landform: Deltas, terraces, outwash plains

Landform position (two-dimensional): Footslope

Landform position (three-dimensional): Tread, dip

Down-slope shape: Concave

Across-slope shape: Linear

Hydric soil rating: No

Hinckley

Percent of map unit: 5 percent

Landform: Deltas, kames, eskers, outwash plains

Landform position (two-dimensional): Summit, shoulder, backslope

Landform position (three-dimensional): Head slope, nose slope, crest, side slope, rise

Down-slope shape: Convex

Across-slope shape: Convex, linear

Hydric soil rating: No

Agawam

Percent of map unit: 3 percent

Landform: Stream terraces, outwash terraces, outwash plains, moraines, eskers, kames

Landform position (three-dimensional): Rise

Down-slope shape: Convex

Across-slope shape: Convex

Hydric soil rating: No

Windsor

Percent of map unit: 2 percent

Landform: Dunes, deltas, outwash terraces, outwash plains

Landform position (two-dimensional): Summit

Landform position (three-dimensional): Tread, riser

Down-slope shape: Convex, linear

Across-slope shape: Convex, linear

Hydric soil rating: No

38C—Hinckley loamy sand, 3 to 15 percent slopes

Map Unit Setting

National map unit symbol: 2svmb

Elevation: 0 to 1,290 feet

Mean annual precipitation: 36 to 71 inches

Mean annual air temperature: 39 to 55 degrees F

Frost-free period: 140 to 240 days

Farmland classification: Farmland of statewide importance

Map Unit Composition

Hinckley and similar soils: 85 percent

Minor components: 15 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Hinckley

Setting

Landform: Outwash deltas, outwash terraces, moraines, eskers, kames, outwash plains, kame terraces

Landform position (two-dimensional): Summit, shoulder, backslope, footslope, toeslope

Landform position (three-dimensional): Head slope, nose slope, side slope, crest, riser, tread

Down-slope shape: Concave, convex, linear

Across-slope shape: Convex, linear, concave

Parent material: Sandy and gravelly glaciofluvial deposits derived from gneiss and/or granite and/or schist

Typical profile

Oe - 0 to 1 inches: moderately decomposed plant material

A - 1 to 8 inches: loamy sand

Bw1 - 8 to 11 inches: gravelly loamy sand

Bw2 - 11 to 16 inches: gravelly loamy sand

BC - 16 to 19 inches: very gravelly loamy sand

C - 19 to 65 inches: very gravelly sand

Properties and qualities

Slope: 3 to 15 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Excessively drained

Runoff class: Very low

Capacity of the most limiting layer to transmit water (Ksat): Moderately high to very high (1.42 to 99.90 in/hr)

Depth to water table: More than 80 inches

Frequency of flooding: None

Frequency of ponding: None

Maximum salinity: Nonsaline (0.0 to 1.9 mmhos/cm)

Available water supply, 0 to 60 inches: Low (about 3.1 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 4e

Hydrologic Soil Group: A

Ecological site: F144AY022MA - Dry Outwash

Hydric soil rating: No

Minor Components

Windsor

Percent of map unit: 5 percent

Landform: Moraines, eskers, kames, outwash deltas, outwash terraces, outwash plains, kame terraces

Landform position (two-dimensional): Summit, shoulder, backslope, footslope, toeslope

Landform position (three-dimensional): Head slope, nose slope, side slope, crest, riser, tread

Down-slope shape: Concave, convex, linear

Across-slope shape: Convex, linear, concave

Hydric soil rating: No

Merrimac

Percent of map unit: 5 percent

Landform: Kames, outwash plains, outwash terraces, moraines, eskers

Landform position (two-dimensional): Summit, shoulder, backslope, footslope, toeslope

Landform position (three-dimensional): Head slope, nose slope, side slope, crest, riser, tread

Down-slope shape: Convex

Across-slope shape: Convex

Hydric soil rating: No

Agawam

Percent of map unit: 3 percent

Landform: Outwash deltas, outwash terraces, moraines, eskers, kames, outwash plains, kame terraces

Landform position (two-dimensional): Summit, shoulder, backslope, toeslope, footslope

Landform position (three-dimensional): Head slope, nose slope, side slope, crest, riser, tread

Down-slope shape: Concave, convex, linear

Across-slope shape: Convex, linear, concave

Hydric soil rating: No

Sudbury

Percent of map unit: 2 percent

Landform: Outwash deltas, moraines, outwash plains, kame terraces, outwash terraces

Landform position (two-dimensional): Backslope, footslope

Landform position (three-dimensional): Base slope, tread

Down-slope shape: Concave, linear

Across-slope shape: Concave, linear

Hydric soil rating: No

603 Cider Lane

I. 603 Cider Lane

The property, 603 Cider Lane, is 1.85 acres in the R2A Zone. It has frontage on both the existing Cider Mill Heights and Cider Lane, which will be a public road constructed in the near future. This property was approved as part of a Special Permit application for a Flexible Residential Development (FRD) for Cider Mill Heights in 2005. The approval included ten lots on Cider Lane, which would be a town road, and five lots on Cider Barrel Way, which would be a private road. At the time of approval, a need was expressed to have additional town property in the area that could be used by the Department of Public Works to store materials so that snowplows would not have to return to the Public Works garage to refill. Therefore, the application was approved subject to a lot being deeded to the Town that could be used for this purpose. The lot deeded to the Town was 603 Cider Lane. The lot has been unused since it was deeded to the Town and is vacant. In the Spring of 2025, the Board of Selectmen found that the Town no longer has a need for this property and voted to authorize its sale.

This property is subject to the Special Permit conditions and the Second Revised Declaration of Restrictions & Protective Covenants and Homeowners Association.

Purchaser will have to consult with the Farmington Valley Health District regarding well and septic. Refer to 'VII. Preliminary Layout Plan and Test Pit Location' for test pit locations. The Town of Granby does not have the test pit results.

II. Location Map



III. Special Permit

VOLUME 330

947

EXHIBIT A SPECIAL PERMIT

TO BE RECORDED WITH THE GRANBY TOWN CLERK IN ACCORDANCE WITH SECTIONS 8-3c, 8-26e, AND 8-3d OF THE CONNECTICUT GENERAL STATUTES FOR SPECIAL PERMIT.

NAME OF RECORD OWNER: TFHB, LLC

STREET ADDRESS OF PROPERTY: 101 Mountain Road
North Granby, CT 06060

DEED REFERENCE: VOLUME: 251 . PAGE: 0050 ZONE: R2A

ORDINANCE: Zoning SECTION: 3.8
APPROVAL DATE: 7-26-05

DESCRIPTION OF ACTION: ACTION ON AN APPLICATION FOR A SPECIAL PERMIT FOR FRD SUBDIVISION, FINAL PHASE OF DEVELOPMENT FOR CIDER MILL HEIGHTS, FILE Z-5-05, SECTION IV, PREPARED FOR TOM FREDO BUILDERS, LLC. MOUNTAIN ROAD, GRANBY, CT., DATED FEBRUARY 1, 2005, AND REVISED TO MAY 24, 2005, FILE Z-5-05. THE COMMISSION APPROVED ALL PHASE IV LOTS, EXCEPT LOTS 41, 402, 404, 408, 35, 33, 306, 308, 309, 307, 308, 305, 303 AND 312. THE COMMISSION APPROVED THE REMAINING LOTS WITH THE FOLLOWING CONDITIONS AND EXCEPTIONS:

1. No building permits may be issued for any of the Section IV house lots until such time that the State Department of Transportation issues a revised State Traffic Commission Permit.
2. The mylars shall not be executed and filed until such time that a cash bond in an amount established by the Commission, which guarantees the completion of all public improvements and improvements required by the approval of this application is submitted to the Town. In lieu of the total cash bond the applicant may submit a cash bond equal to 10% of the total bond and establish a Security Agreement in accordance with Section 7 of the Subdivision Regulations.
3. No Certificate of Occupancy shall be issued for any Section IV lot until such time that the connecting portion of Cider Mill Heights Road is completed, to the placement of the base course of bituminous concrete.
4. Tree clearing on individual lots shall be limited to that necessary for the construction of the driveway, house, septic system, well and related infrastructure as shown on the approved comprehensive sedimentation and erosion control plan for that lot.
5. Tree clearing on property of the home owners association shall be limited to the proposed clearing as required to construct the proposed drainage facilities and for any necessary road grading or other construction activity identified on the approved plan. No additional construction, grading, earth removal or clearing of trees is permitted within the open space area.
6. The maximum height of a structure on each individual lot shall be in conformance with Schedule H, as provided by the applicant. Schedule H shall be reproduced on a mylar copy of the approved plan.
7. All driveways shall be designed and constructed in conformance with Section 4.13 of the Subdivision Regulations.
8. All Private Streets shall be designed and constructed in conformance with Section 4.16 of the Subdivision Regulations.
9. Lot 45 and lot 502 are not approved, in recognition of the report from the Farmington Valley Health District. Lot 45 shall be combined with lot 43 and lot 502 shall be combined with lot 504.
10. No road names are approved for the proposed public and private roads. The applicant shall submit the proposed names in accordance with the subdivision regulations for consideration by the Commission.

11. No C.O. Shall be issued for lots 504, 508, 510, 511 and 512 until the private road is constructed and paved in compliance with Section 4.13 and 4.16.
12. Materials which may be necessary for the construction of the subdivision roads and septic systems shall only be delivered to the site, Monday through Friday, between the hours of 8:30 a.m. and 4:30 p.m.
13. All construction traffic and material delivery shall access the site from the eastern portion of Cider Mill Heights Road.
14. A comprehensive sedimentation and erosion control plan shall be prepared for each lot and submitted to the Granby Building Department for review and approval prior to the issuance of a Building Permits for that lot. The Building Inspector may require a Review of Activity be submitted to the Inland Wetlands and Water Courses Commission as necessary or required.
15. Due to the area steep slopes, ledge, poor soil conditions and the need for extensive grading, placement of fill, blasting, excavation and removal of earth, the Construction Schedule and Inspection Schedule, as proposed by the applicant and outlined within the Phasing and Area Plan are made a condition of this approval.
16. All maps, documents, notes and schedules, which assign duties to specific Town Staff or the Commission, shall be modified to read "the Town or its designated agent."
17. Lot number 603 is provided to the Town for municipal purposes without restriction. The transfer of this lot to the Town shall occur in accordance with the timing requirements of Section 8.20.9.2 of the Zoning Regulations.
18. The final subdivision map shall state: This subdivision is based on Flexible Residential Development criteria and, lot area, lot frontage, lot depth, front, side and rear yards shall be as outlined herein and shall take precedence over any contrary zoning requirements. This note shall be placed on a map, mylar copy, which outlines the areas and yards for each lot.
19. All lots in this subdivision shall be granted a scenic easement over the open space within the subdivision, requiring that the open space remain open space in accordance with the regulations. A note to this effect shall be placed on the subdivision map.
20. In accordance with Section 8.20.26c of the Connecticut General Statutes, all work in conjunction with this subdivision shall be completed by July 26, 2010. Failure to complete all work shall result in an automatic expiration of the approval. This wording shall be placed on the final subdivision map.
21. The final subdivision map shall clearly state that all utilities shall be underground including utilities necessary to service those lots accessed by private roads and drives.
22. This subdivision includes the use of a private street. An agreement, which provides for the shared cost of the maintenance of such private street, shall be filed in the land records of the Town of Granby, Town Clerk prior to the issuance of any Certificate of Occupancy for any lot located on such private street.
23. The final mylar of the subdivision shall contain a note, which clearly states that, "the private street will not be owned by the Town and all maintenance, repair and services, such as snow removal, sanding and sweeping of the street, will be the responsibility of the abutting landowners."
24. The final mylar of the subdivision shall state, "as of the approval date of this subdivision the Town of Granby provides curb side refuse and recycling pick up. This service may or may not be provided to the homes along the private street and could be limited to the intersection of the private street with Cider Mill Heights."
25. The final mylar of the subdivision shall contain a note which states that "School bus pickup and postal delivery may be not be provided along the private street." The developer is encouraged to install a mailbox cluster for the homes located along the private street.
26. All existing stone walls located throughout the area of this subdivision shall be preserved. Stonewalls may be relocated as necessary for the construction of approved activities.

VOLUME 330

949

27. The road curbing used throughout shall be of a cape cod curbing design.
28. The cul-de-sac landscaping as outlined for proposed Town Road, shall be completed as designed.
29. The Vegetation Preservation and Planting Plan shall be completed as proposed and in accordance with Section 3.1.4.1.2 of the Subdivision Regulations.
30. Any guardrail proposed and/or required within this subdivision shall be of metal rail materials as approved by the Dept. of public works.
31. The applicant is required to pay all subdivision inspection fees as outlined within the Town's policy. These fees will be greater than average due to the added responsibilities placed on the Town by the application.
32. In approving this subdivision the Commission makes no determination on the overall quality of the individual lots. Potential buyers of lots within this subdivision are urged to review the FVHD report, the conditions outlined herein and to anticipate that the development costs of the individual lots may be greater or much greater than average.
33. The Declaration of Restrictions and Protective Covenants and Homeowners Association, as presented to the Commission in its final form, shall be filed in the Granby Land Records and shall not be terminated or amended without the approval of the Commission. All references to the denied lots should be removed from the Declaration of Restrictions and Protective Covenants and Homeowners Association.

The Commission denies lots 41, 402, 404, 408, 35, 33, 306, 308, 309, 307, 308, 305, 303 and 31 based on the information presented, the application record, staff, applicant and public hearing comments and the following:

An alternative layout can aid in maintaining the visual integrity of this hilltop by reducing the number of homes placed near the peak of this site. The applicant previously assured the Commission that phase III of this development would not negatively impact the ridgeline or be easily seen from off the site. This has not proven to be so.

An alternative layout will reduce the need for the numerous private roads that are necessary to service the denied FRD lots and can reduce the impact of placing new homes in back of existing homes.

An alternate plan can reduce the site development environmental impact and costs.

Based on the above and in accordance with Section 8.20.13 the Commission does not find "that the development plan on balance will better serve the Town of Granby and the neighborhood surrounding the development than a Standard Subdivision Development."



SIGNATURE
CHAIRMAN GRANBY
PLANNING AND ZONING COMMISSION

3-16-06

DATE



SIGNATURE
APPLICANT OR OWNER

March 10, 2006

DATE

DATE FILED

IV. Second Revised Declaration of Restrictions & Protective Covenants and Homeowners Association

950

VOLUME 330

SECOND REVISED DECLARATION OF RESTRICTIONS & PROTECTIVE COVENANTS AND HOMEOWNERS ASSOCIATION

**CIDER MILL HEIGHTS
GRANBY, CONNECTICUT**

THE PURPOSE OF THIS REVISED DECLARATION IS TO ADD ADDITIONAL OPEN SPACE PARCELS AND ADDITIONAL LOTS AND TO ADD ADDITIONAL RESTRICTIONS ON THOSE LOTS.

THIS DECLARATION made this 13th day of March, 2006, by **TFHB, L.L.C.**, a Connecticut limited liability company with offices in the Town of Windsor, County of Hartford and State of Connecticut (hereinafter referred to as "Developer") to wit:

WHEREAS, Developer is the owner of lot nos. 36, 38, 40, 42, 43, 44, 48, 49, 51, 504, 508, 510, 511, 512, 603, 604, 606, 607, 609, 610, 611, 612, 614, 615, 616, (hereinafter collectively referred to as the "Lots" or each individually as the "Lot") located at Cider Mill Heights in the Town of Granby, County of Hartford and State of Connecticut, as shown on two maps entitled "SUBDIVISION PLAN 1..." and "SUBDIVISION PLAN 2 CIDER MILL HEIGHTS SECTION IV PREPARED FOR TOM FREDO BUILDERS, LLC MOUNTAIN ROAD, GRANBY, CONNECTICUT SCALE: 1 IN = 100 FT FEBRUARY 1, 2005 ED LALLY AND ASSOCIATES, INC. 111 PROSPECT HILL ROAD WINDSOR, CT 06095 (860) 688-2413" revised through "9/16/05 PER TOWN APPROVAL" which maps are on file or to be filed in the Granby Town Clerk's Office (the "Phase IV Map") to which reference may be had for a more particular description of the Lots.

WHEREAS, Developer desires to place certain restrictions upon the Lots and Open Space, defined below, which restrictions shall run with the land and be binding upon all purchasers of the Lots, their heirs, executors, administrators, successors and assigns.

NOW, THEREFORE, Developer, for the benefit of itself, its successors and assigns, and in order to create a uniform plan of development, and for the purposes of carrying out the purpose above explained and in consideration of these premises, does hereby make known, publish, declare, covenant and agree that all Lots shall hereafter be subject to the following covenants and restrictions, which shall be real covenants running with the land and binding upon all purchasers, owners and mortgagees and any purchasers, owners or mortgagees of any portion of the same, their heirs, executors, administrators, successors and assigns.

FIRST: The owner of any Lot, as the same may change from time to time, shall, by virtue of such ownership, become and remain a member of the "Cider Mill Heights Homeowners Association, Inc." (the "Association") for the entire period of said ownership, which Association shall own and be responsible for the maintenance, preservation and improvements of the areas designated as "OPEN SPACE TO BE DEEDED TO CIDER MILL HEIGHTS HOMEOWNERS ASSOCIATION FOR PRESERVATION PURPOSES AREA = 17.116 ACRES" and "OPEN SPACE TO BE DEEDED TO CIDER MILL HEIGHTS HOMEOWNERS ASSOCIATION FOR PRESERVATION PURPOSES AREA = 14.881 ACRES" as shown on a map entitled "SUBDIVISION PLAN CIDER MILL HEIGHTS SECTION II PREPARED FOR TOM FREDO HOME BUILDERS MOUNTAIN ROAD - GRANBY, CONNECTICUT SCALE: 1 IN = 100 FT MAY 12, 1998 ED LALLY AND ASSOCIATES, INC. 111 PROSPECT HILL ROAD WINDSOR, CT 06095 (860) 688-2413 REVISED 5/26/98 PER TOWN 6/26/98 PER STAFF 7/9/98 PER WETLANDS COMMISSION 10/19/98 PER TPZ APPROVAL 4/1/99 2 D.R.O.W. ON CIDER MILL HEIGHTS 5/9/00 LOT LINE & EASEMENT LOTS 17, 21, 203 & 204, RENUMBER ALL LOTS" (the "Phase II Map"), and the areas designated as "OPEN SPACE TO BE DEEDED TO CIDER MILL HEIGHTS HOMEOWNERS ASSOCIATION FOR PRESERVATION PURPOSES AREA = 9.792 ACRES" and "OPEN SPACE TO BE DEEDED TO CIDER MILL HEIGHTS HOMEOWNERS ASSOCIATION FOR PRESERVATION PURPOSES AREA = 12.251 ACRES" as shown on a map entitled "SUBDIVISION PLAN CIDER MILL HEIGHTS SECTION II PREPARED FOR TOM FREDO HOME BUILDERS MOUNTAIN ROAD - GRANBY, CONNECTICUT SCALE: 1 IN = 100 FT MAY 12, 1998 ED LALLY AND ASSOCIATES, INC. 111 PROSPECT HILL ROAD WINDSOR, CT 06095 (860) 688-2413 REVISED 5/26/98 PER TOWN 6/26/98 PER STAFF 7/9/98 PER WETLANDS COMMISSION 10/19/98 PER TPZ APPROVAL 4/1/99 2 D.R.O.W. ON CIDER MILL HEIGHTS 5/9/00 LOT LINE & EASEMENT LOTS 17, 21, 203 & 204, RENUMBER ALL LOTS" (the Phase III Map") and the areas designated as "OPEN SPACE TO BE DEEDED TO CIDER MILL HEIGHTS HOMEOWNERS ASSOCIATION FOR PRESERVATION PURPOSES AREA = 12.409 ACRES" and "OPEN SPACE TO BE DEEDED TO CIDER MILL HEIGHTS HOMEOWNERS ASSOCIATION FOR PRESERVATION PURPOSES AREA = 34.228 ACRES" on the Phase IV Map (collectively the "Open Space"), which have been or hereinafter to be deeded to the Association, including necessary financial assessments of Lot owners by the Association as shall be determined by its Board of Directors and an initiation fee of One Hundred Twenty-Five (\$125.00) Dollars from the new owner of each Lot upon the transfer from the Developer, which financial payments, if unpaid, shall constitute a lien on the Lot of the owner or owners who have failed to pay the same. Any such financial assessments shall never exceed the amount set forth in Section 47-215(3) of the Connecticut General Statutes, as amended.

SECOND: These restrictions and covenants shall be binding upon all parties and all persons claiming under them as hereinbefore set forth, for a period of thirty (30) years from the date of recording of this Declaration after which time said restrictions and covenants shall be automatically extended for successive periods of ten (10) years unless an instrument, signed by two-thirds (2/3) of the then-owners of the Lots, is recorded agreeing to terminate or amend said covenants in whole or in part. Notwithstanding anything contained in this paragraph, the FIRST, SECOND, THIRD, SIXTEENTH, SEVENTEENTH, EIGHTEENTH, NINETEENTH, TWENTIETH AND TWENTY-FIRST paragraphs shall remain in full force and effect in perpetuity, and can only be amended only by the Developer or the Association in accordance with the by-laws established for the Association, which are attached hereto as Schedule A and made a part hereof. In addition, any such amendments to the FIRST, SECOND, THIRD, SIXTEENTH, SEVENTEENTH, EIGHTEENTH, NINETEENTH, TWENTIETH AND TWENTY-FIRST paragraph made by the Association shall require approval of the Planning and Zoning Commission of the Town of Granby.

THIRD: If the parties bound by said covenants, or any of them, or their heirs, executors, administrators, successors and assigns, shall violate any of said covenants, it shall be lawful for any other person or persons owning any Lot or the Town of Granby to prosecute any proceedings at law or in equity against the person or persons violating or attempting to violate any such covenant, and either to prevent him or them from doing so or to recover damages or other dues for such violation. All legal expenses, attorneys' fees and other costs incurred by the Lot owner(s) or by said Town who does successfully prosecute such proceedings at law against the violator shall be paid in full by said violator. Said expenses, attorneys' fees and other costs, if unpaid, shall constitute a lien on the Lot of the violator who has failed to pay the same.

Invalidation of any of the covenants herein contained by Judgment or court order shall in no manner affect any of the other provisions, which shall remain in full force and effect.

FOURTH: The owner of each Lot shall be responsible for the year-round maintenance of the grass, trees, shrubs and other plantings, driveways and structures, to a standard of maintenance substantially equivalent to that of the average of the two (2) adjoining Lots and the two (2) Lots most nearly opposite therefrom across the road, but this covenant shall not be construed to require the owner of any Lot to match any special plantings or landscaping on any adjoining or opposite Lot.

FIFTH: No Lot shall be used except for residential purposes. No building shall be erected, altered, placed or permitted to remain on any Lot other than one (1) single-family dwelling, and a private garage, attached to, or detached from, said dwelling. In addition, an in-law apartment or home office is permitted within the single family dwelling, if all required permits and approvals are obtained, including the Developer's approval which is required as long as the Developer owns at least one Lot. Lot 603 shall be exempt from this provision as long as it shall remain the property of the Town of Granby and be utilized for municipal purposes. All sand, salt or sand/salt mixtures stored on Lot 603 shall be stored in a suitable building or structure. Said building shall meet the requirements of DEP Regulations for buildings for the storage of sand/salt mixtures. Any tools, equipment or motor vehicles on Lot 603 while it is owned by said Town, except for an automobile or one pickup sized truck, shall be stored in a suitable building. Said buildings or structures shall meet all of the requirements of these Restrictions and Protective Covenants. If and when said Lot 603 is sold by the Town of Granby, such Lot shall be bound by the same restrictions that apply to the other Lots.

SIXTH: No noxious or offensive activity shall be carried on or upon any Lot nor shall anything be done thereon which may be or may become an annoyance or nuisance to the neighborhood.

SEVENTH: No structure of a temporary character, trailer, tent, shack, garage, barn or other out-building shall be used on any Lot at any time as a residence, either temporarily or permanently.

EIGHTH: No animals, livestock or poultry of any kind shall be raised, bred or kept on any Lot, except that dogs, cats or other household pets may be kept, provided that they are not kept, bred or maintained for any commercial purposes.

NINTH: No sign of any kind shall be displayed to the public view by the homeowner on any Lot except one (1) professional sign of not more than two (2) square feet and/or one (1) sign of not more than six (6) square feet advertising a single family house for sale or rent, subject to compliance with any provisions which may be contained in the zoning ordinances of the Town of Granby.

TENTH: No Lot shall be used or maintained as a dumping area for rubbish. Trash, garbage or other waste shall not be kept, except in sanitary containers, including containers for recycling when applicable. No waste incinerators are permitted. All other equipment for the storage or disposal of such material shall be kept in a clean and sanitary condition.

ELEVENTH: For as long as a developer owns a Lot, the Developer, or its duly appointed designee, reserves the right to order the modification or replacement of any appurtenances and accessories (including, but not limited to, antennas, fences, lights, gates and

signs) installed on any Lot and the road abutting same or on the building thereon and visible from the road abutting same, which, in its sole discretion, are not in keeping with the surroundings.

TWELFTH: Only casual repair of registered motor vehicles shall be permitted on the Lots. No unregistered motor vehicles may be parked on any Lot unless it is housed within the garage.

THIRTEENTH: No fence of any kind may be built on any Lot from the street line to the building line without the written consent of the Association.

FOURTEENTH: Pools, clothes lines, satellite dishes and vegetable gardens shall only be permitted if located behind the house and in the rear of the Lot.

FIFTEENTH: No exposed exterior block chimneys or exterior metal chimneys with over four (4) feet in length exposed shall be permitted around the perimeter of the house, nor shall exterior short wave radio antennas be permitted.

SIXTEENTH: No exterior light shall be placed on a house, garage, accessory structure, pole or Lot which projects light above the horizontal plane of the top of the light fixture.

SEVENTEENTH: No healthy trees, bushes or vegetation over 4 inches in diameter and no limbs of any healthy trees, bushes or vegetation over 4 inches in diameter may be pruned, cut, damaged, killed or removed from any Lot except as shown on an individual Site Development Plan prepared for the development of said Lot (showing the minimum amount of clearing required for construction of the house, septic system including reserve area, well, utilities, driveway and a reasonable lawn area) approved by the Director of Community Development or another representative of the Town designated by the Granby Planning and Zoning Commission (the "Town Official") at the time of application for a building permit, except as approved in writing by the Granby Planning and Zoning Commission. Each owner of a Lot shall submit such a plan to the Town Official, obtain written approval of said plan and have the approved limits of vegetation removal staked on the Lot by the Licensed Land Surveyor who prepared the individual Site Development Plan of said Lot before commencing clearing or construction on that Lot. In granting or withholding approvals of individual Site Development Plans, the Town Official shall take into consideration the approval of the Farmington Valley Health District, if any, and recommendations of the Town Engineer concerning the maintaining of proper site lines from driveways the grade of driveways, and issues concerning proper site grading and shall consider the height of the house in relationship to the height of the tree canopy, screening between adjacent houses, the need to provide shaded areas, the ability to reasonably relocate the house to a lower elevation or to screen it to better protect the ridge tops and, generally, the health, safety and welfare of the community and its residents. Evidence of approval of each individual Site Development Plan shall be recorded on the Granby Land Records so that the owner of the affected Lot and his or her successors may be assured that the approval required by this Section SEVENTEENTH has been obtained.

EIGHTEENTH: No healthy trees, bushes or vegetation over 4 inches in diameter and no limbs of any healthy trees, bushes or vegetation over 4 inches in diameter may be pruned, cut, damaged, killed or removed from the Open Space, except as shown on the approved Subdivision Plans and attachments thereto, except as approved in writing by the Granby Planning and Zoning Commission.

NINETEENTH: Houses and accessory structures and their roofs shall be a natural or earth-tone color such that they blend in with the color of the surrounding woods. Nothing in this section shall prohibit contrasting but coordinated trim colors.

TWENTIETH: No house or accessory structure shall be constructed on any Lot with a building height exceeding the requirements of Section 5.1 or Section 5.2.3.2 of the Granby Zoning Regulations and no building or accessory structure shall be constructed on any Lot with a height, measured to the roof ridge line or the highest part of the house or accessory structure in excess of that shown on the attached Schedule H.

TWENTY-FIRST: If a tree, a portion of a tree or other vegetation falls or otherwise moves by force of nature from the Open Space or the Land of Granby Land Trust, Inc. to or upon any Lot, the tree, portion of a tree, or other vegetation becomes the property and responsibility the owner of said Lot. Neither the Association nor Granby Land Trust, Inc. shall be responsible for pruning or maintaining trees or vegetation located on its land or for cleaning up debris, branches or trees that fall from its land onto any Lot.

TWENTY-SECOND: Developer or its duly appointed designee shall have the right, at any time from time to time until all of the Lots are sold or until the tenth (10th) anniversary of the recording of this Declaration, whichever shall first occur, to grant to the owner of any of the Lots or to any governmental body or agency or to any public or private utility company, such easements or

rights-of-way as may be necessary and proper for the benefit of any one or more of the Lots or for the benefit of any of the roads shown on the Phase II Map and/or the Phase III Map and/or the Phase IV Map, provided: (a) such easements or rights-of-way shall be located within the portion of any Lot lying between the lot line and the building set back line as established by the zoning ordinances of the Town of Granby; (b) no such easement or right-of-way shall unreasonably interfere with the use and enjoyment of the Lot subjected to such easement or the improvements located thereon; and (c) no improvements of a permanent nature will be permitted to be constructed within any such easement or right-of-way.

TWENTY-THIRD: Developer or its duly appointed designee also shall have the right at any time from time to time until all of the Lots are sold or until the tenth (10th) anniversary of the recording of this Declaration, whichever shall first occur, to grant or reserve slope rights as Developer may deem necessary, provided: (a) such slope rights shall be located within the portion of any Lot lying between the lot line and the building set back line as established by the zoning ordinances of the Town of Granby; (b) no such slope rights shall unreasonably interfere with the use and enjoyment of the Lot subjected to such slope rights or the improvements located thereon; and (c) no improvements of a permanent nature will be permitted to be constructed within any such slope rights.

TWENTY-FOURTH: The use of the Open Space is restricted to passive recreation. The use of ATV's, snowmobiles, dirt bikes, motorcycles, cars, trucks or any other type of motor vehicle or any other type of motorized equipment on the Open Space is strictly prohibited.

Upon the sale of all of the Lots by Developer, these restrictions and covenants (except for the FIRST, SECOND, THIRD, SIXTEENTH, SEVENTEENTH, EIGHTEENTH, NINETEENTH, TWENTIETH AND TWENTY-FIRST paragraphs) may be amended or terminated by an instrument executed by the owners of two-thirds (2/3) of the Lots and recorded on the Granby Land Records.

THE TOWN OF GRANBY, AS A THIRD PARTY BENEFICIARY OF THIS DECLARATION, AND/OR ANY LOT OWNER CAN ENFORCE THESE RESTRICTIONS ON THE OWNER OF ANY OTHER LOT.

IN WITNESS WHEREOF, Developer has hereunto set its hand and seal this 13th day of March, 2005.

In the Presence of:

P.W. Boatman
P.W. BOATMAN

STATE OF CONNECTICUT }
} ss. Granby
COUNTY OF HARTFORD }

TFHB, L.L.C.
By: Thomas P. Fredo, Jr.
It's Member

Thomas P. Fredo, Jr.
Thomas P. Fredo, Jr. member

March 13, 2006

Before me, the undersigned, this 13th day of March, 2006, personally appeared THOMAS P. FREDO, JR., known to me to be a member of TFHB, L.L.C., and that he, as such member, signer and sealer of the foregoing instrument, acknowledged the execution of the same to be his free act and deed individually and as such member, and the free act and deed of said limited liability company.

In Witness Whereof, I hereunto set my hand.

P.W. Boatman
P.W. BOATMAN
Commissioner of the Superior Court
Notary Public
My Commission Expires: _____

**SECOND REVISED DECLARATION OF RESTRICTIONS & PROTECTIVE
COVENANTS AND HOMEOWNERS ASSOCIATION**

SCHEDULE H

LOT	MAXIMUM HEIGHT (FT)
31	39
33	39
35	39
36	39
38	39
40	39
41	39
42	39
43	43
44	43
45	43
48	53
49	53
51	53
303	39
305	39
306	39
307	39
308	39
309	39
402	39
404	39
408	39
502	43
504	43
508	47
510	47
511	47
512	47
603	53
604	53
606	53
607	53
609	53
610	53
611	53
612	53
614	53
615	53
616	53

VOLUME 330

SCHEDULE A

955

CIDER MILL HEIGHTS HOMEOWNERS ASSOCIATION, INC.

BY-LAWS

ARTICLE I

NAME

The organization shall be known as the CIDER MILL HEIGHTS HOMEOWNERS ASSOCIATION, INC. (the Association").

ARTICLE II

PURPOSE

1. The Association shall own and maintain those certain parcels shown as "OPEN SPACE TO BE DEEDED TO CIDER MILL HEIGHTS HOMEOWNERS ASSOCIATION FOR PRESERVATION PURPOSES AREA = 17.116 ACRES" and "OPEN SPACE TO BE DEEDED TO CIDER MILL HEIGHTS HOMEOWNERS ASSOCIATION FOR PRESERVATION PURPOSES AREA = 14.881 ACRES" (together the "Phase II Open Space") on a certain map or plan entitled "SUBDIVISION PLAN CIDER MILL HEIGHTS SECTION II PREPARED FOR TOM FREDO HOME BUILDERS MOUNTAIN ROAD - GRANBY, CONNECTICUT SCALE: 1 IN = 100 FT MAY 12, 1998 ED LALLY AND ASSOCIATES, INC. 111 PROSPECT HILL ROAD WINDSOR, CT 06095 (860) 688-2413 REVISED 5/26/98 PER TOWN 6/26/98 PER STAFF 7/9/98 PER WETLANDS COMMISSION 10/19/98 PER TPZ APPROVAL 4/1/99 2 D.R.O.W. ON CIDER MILL HEIGHTS 5/9/00 LOT LINE & EASEMENT LOTS 17, 21, 203, & 204, RENUMBER ALL LOTS" which map is on file in the Granby Town Clerk's Office, as may be amended from time to time, and those certain parcels shown as "OPEN SPACE TO BE DEEDED TO CIDER MILL HEIGHTS HOMEOWNERS ASSOCIATION FOR PRESERVATION PURPOSES AREA = 9.792 ACRES" and "OPEN SPACE TO BE DEEDED TO CIDER MILL HEIGHTS HOMEOWNERS ASSOCIATION FOR PRESERVATION PURPOSES AREA = 12.251 ACRES" (together the "Phase III Open Space") on a certain map or plan entitled "SUBDIVISION PLAN 1 AND PLAN 2 CIDER MILL HEIGHTS SECTION III PREPARED FOR TOM FREDO HOME BUILDERS MOUNTAIN ROAD - GRANBY, CONNECTICUT SCALE: 1 IN = 100 FT APRIL 9, 1999 ED LALLY AND ASSOCIATES, INC. 111 PROSPECT HILL ROAD WINDSOR, CT 06095 (860) 688-2413 REVISED 5/25/99 PER TOWN STAFF 6/21/99 PER TOWN STAFF 5/2/00 ELIMINATE TWO LOTS, RENUMBER LOTS, PER APPROVAL" which map is on file in the Granby Town Clerk's Office, as may be amended from time to time, and those certain parcels shown as "OPEN SPACE TO BE DEEDED TO CIDER MILL HEIGHTS HOMEOWNERS ASSOCIATION FOR PRESERVATION PURPOSES AREA = 12.409 ACRES" and "OPEN SPACE TO BE DEEDED TO CIDER MILL HEIGHTS HOMEOWNERS ASSOCIATION FOR PRESERVATION PURPOSES AREA = 34.228 ACRES" (together the "Phase IV Open Space") on a certain map or plan entitled "SUBDIVISION PLAN 1... "and "SUBDIVISION PLAN 2 CIDER MILL HEIGHTS SECTION IV PREPARED FOR TOM FREDO BUILDERS, LLC MOUNTAIN ROAD, GRANBY, CONNECTICUT SCALE: 1 IN = 100 FT FEBRUARY 1, 2005 ED LALLY AND ASSOCIATES, INC. 111 PROSPECT HILL ROAD WINDSOR, CT 06095 (860) 688-2413" which map is on file in the Granby Town Clerk's Office, as may be amended from time to time (collectively the "Open Space") AND shall engage in any such related endeavors and interests as may be desirable in the maintenance of said property for the welfare and benefit of the members of the Association.
2. It is the intent that the Phase II Open Space, the Phase III Open Space and the Phase IV Open Space (collectively the "Open Space") shall be under the eventual ownership of the Association.

ARTICLE III

MEMBERSHIP

Section A.

Members: Any person, persons, partnerships, corporation or other entity who owns or subsequently purchases a lot at the subdivision known as CIDER MILL HEIGHTS, Granby, Connecticut, shall be a member. All members must pay an initiation fee of ONE HUNDRED TWENTY-FIVE and 00/100 (\$125.00) DOLLARS per lot to the Association at the time each Lot is acquired by a third party purchaser from TFHB, L.L.C., or its successors or assigns (the "Developer").

Section B.

Voting: For the purpose of these By-Laws, the owner or joint owners of any one lot in CIDER MILL HEIGHTS shall be considered one member. Each member shall be entitled to a number of votes equal to the number of lots owned by such member. In the event joint owners cannot agree on how the vote of a member shall be cast, each joint owner shall have a fractional vote equal to the fraction of ownership of such joint owner in a lot in the development.

ARTICLE IV
MEETINGS, QUORUMS AND NOTICES

Section A.

1. **Annual Meetings.** There shall be a membership meeting (herein called the "Annual Meeting") once during each calendar year, on a date chosen by the Board of Directors, which date shall not be longer than fifteen (15) months after the last Annual Meeting. Members of the Board of Directors shall be elected at the Annual Meeting for a term of one (1) year or until their successors are elected and qualified. The election shall be by a secret ballot if any two (2) members make such a request, in writing, at the Annual Meeting. Each Member shall vote for the number of candidates needed to fill the Board of Director positions. The candidate or candidates receiving the most votes cast shall be elected. The foregoing provision relating to the election of members of the Board of Directors shall apply after such time as ninety (90%) percent of the lots in the subdivision have been sold by the Developer.
2. **Special Membership Meetings.** The President may call a membership meeting at any time. The Secretary shall call a membership meeting if twenty (20%) percent or more members entitled to vote request such a meeting in writing and file it with the Secretary.
3. **Board of Directors and Other Meetings.** The Board of Directors shall be represented at all meetings of committees. The President may call a Board of Directors meeting. The Secretary shall call a meeting of the Board of Directors if three (3) members of the Board of Directors make a written request for such meeting and file it with the Secretary.

Section B.

Quorums: One-third of the number of members entitled to vote, as provided herein, shall constitute a quorum at any membership meeting.

Section C.Notices:

1. Notice of any membership meeting shall be mailed, postage prepaid, hand delivered or e-mailed to each member at his last known address not less than seven (7) days or more than thirty (30) days before such meeting. Any meeting or action taken by the membership, of which each member (or his/her duly authorized written proxy or attorney) waives notice thereof or approves in writing, either before or after such meeting or action, shall be a valid meeting or action of the membership.
2. Notice of any meeting of the Board of Directors shall be mailed, postage prepaid, hand delivered or e-mailed to each member thereof at least five (5) days prior to such meeting. Any meeting or action taken by the Board of Directors, which each member waives notice thereof or approves in writing, either before or after such meeting or action, shall be a valid meeting or action of the Board of Directors. Notice requirements for all committee meetings shall be determined by such committee.

ARTICLE V
GOVERNMENT

Section A.Directors, Officers and Commissioner:

1. Board of Directors. The Association shall be governed by a Board of Directors consisting of up to five (5) persons shall be appointed by the Developer of the subdivision known as and who shall serve until ninety (90%) percent of the lots in said subdivision have been sold. The Directors do not have to be landowners in said subdivision until such time as ninety (90%) percent of the lots in the subdivision have been sold. Within five (5) years from the date hereof, the Open Space shall be conveyed to the Association.
2. Officers. The Board of Directors shall elect a President, Vice President and Secretary/Treasurer and any other officers deemed necessary by the governing body at their Annual Meeting. The officers need not be members of the Board of Directors.

Section B.

Duties:

1. The Board of Directors and Officers shall be responsible for and have general supervision of the entire function of the Association and may appoint such person or committees as they deem appropriate to effectuate their responsibilities.
2. The Board of Directors shall oversee the maintenance of the Open Space. They shall further be responsible for the payment of the property taxes for any property owned by the Association.
3. In order to carry out their duties, the Board of Directors shall have the right to utilize a portion or all of the initiation fee and levy assessments, which shall be limited to the actual cost of the above-described duties, together with an amount to be set aside as a reserve, if any, and any expenses related to the management of the Association, i.e., professional services, stationery, insurance, etc. All assessments shall be billed each year and due upon receipt. All assessments shall be pro-rated if a purchaser buys a lot during an assessment year. *Any unpaid assessment shall constitute a lien on the lot.*
4. The Officers shall have the duties generally associated with their office; however, such duties may, at the pleasure of the Board of Directors, be specified, changed and amended, provided, however, once any such duties are specified in writing, said duties shall not be changed except by a vote of the Board of Directors.

Section C.

Budget and Method of Assessments:

1. The Board of Directors shall establish a budget for the fiscal year beginning April 1st and each lot shall be assessed its pro rata share of that budget, but in no event shall the annual average common expense exceed the limits set forth in subdivision (3) of subsection (a) of Section 47-215 of the Connecticut General Statutes.
2. Until such time that the Developer no longer has the right to appoint the members of the Board of Directors, the Developer shall not be responsible for paying its pro rata share of the normal assessment for each lot that the Developer owns.
3. The "pro rata share" shall be defined as the total number of lots in CIDER MILL HEIGHTS SECTION II, SECTION III and SECTION IV divided by the number of lots owned by members at any given time.

Section D.

Terms and Vacancies:

1. The Board of Directors and Officers shall serve until their successors are duly chosen. The Officers shall serve at the pleasure of the Board of Directors. Each committee or person appointed to assist the Board of Directors shall serve at its pleasure.
2. Each Annual Meeting shall elect the members of the Board of Directors.
3. The Officers shall be selected by the Board of Directors each year within two (2) months following the Annual Meeting of the Association.

4. All vacancies in the Board of Directors or in the office of an Officer shall be filled by the Board of Directors.

Section E.

Fiscal Year: The fiscal year of the Association shall begin on the first day of April in each year, unless otherwise provided by the Board of Directors.

Section F.

Budget: The Board of Directors shall prepare the budget each year to determine what assessments its members must charge.

Section G.

Books: Books, records and all papers of the Association shall be kept at the office of the Association and shall be open to inspection at all reasonable times by its members.

ARTICLE VI
AMENDMENTS

Section A.

Any of these By-Laws may be altered, amended or repealed, and additional By-Laws may be adopted by the Board of Directors at any Annual Meeting or at any special meeting called for the purpose, provided that written notice of such proposed action shall have been given in the notice of such Annual or special meeting. For the purposes of this Article, the act of two-thirds (2/3) of all the members of the Association present at a meeting at which a quorum is present at the time of the act shall be the action of the Association. Any amendment may not be changed for at least one (1) year. The foregoing notwithstanding, this paragraph shall not apply to any amendment relating to the limitation on the maximum per lot common charge.

ARTICLE VII
RULES AND REGULATIONS

Section A.

The Board of Directors may publish and make available to all members copies of the Rules and Regulations, if any, adopted by it for the orderly maintenance and use of the real property owned by the Association.

Section B.

Any development of the Open Space other than as provided by the Developer as part of the plans of the subdivision (as may be amended by the Developer from time to time) shall be approved by seventy-five (75%) percent of the entire membership.

Received for record

3:36pm March 16, 2006

by, *Carolyn S. Smith*

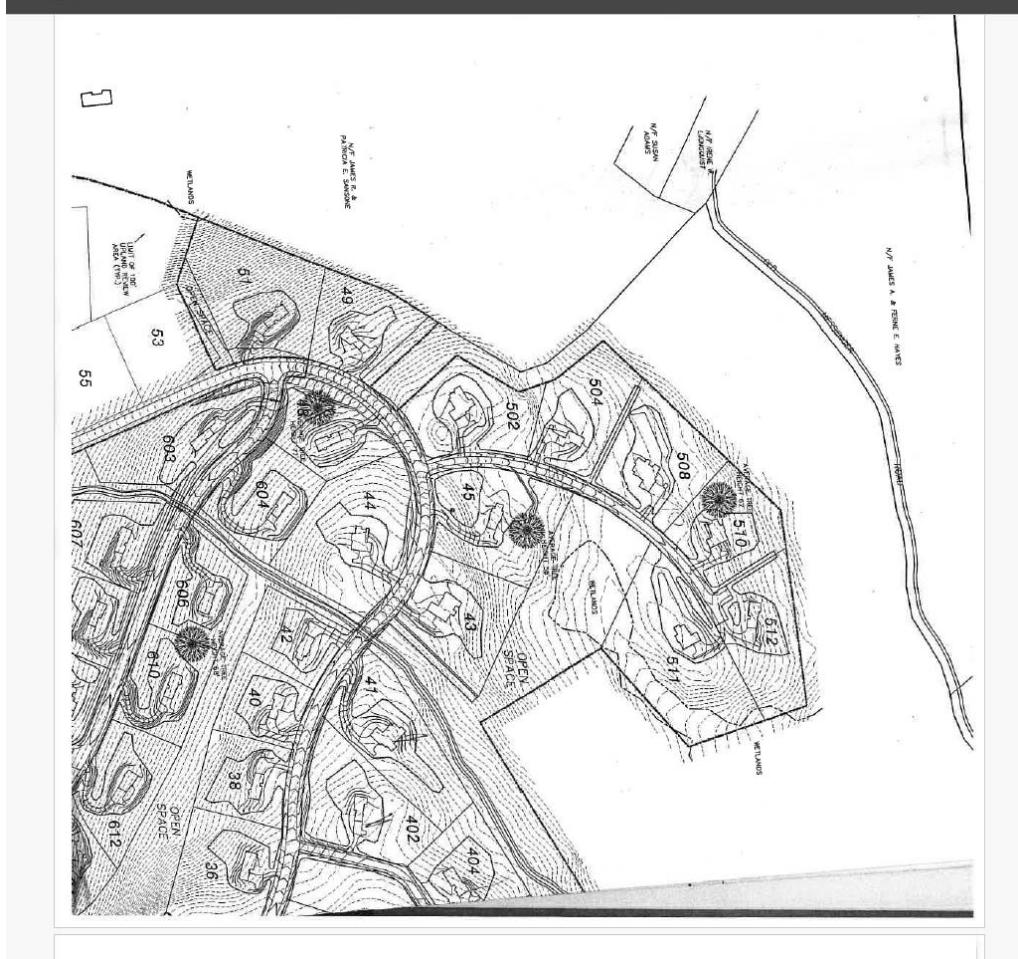
Town Clerk

V. Application Information

**TOWN OF GRANBY
SUBDIVISION APPLICATION
CIDER MILL HEIGHTS - PHASE IV
FEBRUARY 8, 2005**

This, the fourth and final phase of Cider Mill Heights is a FRD subdivision of thirty-nine (39) single-family lots, open space parcels and lands being deeded to the Town of Granby served by two new Town roads and several private roads. The 1776-foot long section of Cider Mill Heights road, which was previously approved as to its design but not for construction, will connect the westerly Town accepted portion of Cider Mill Heights to the easterly portion and will eliminate the temporary cul-de-sac. This section of Cider Mill Heights provides direct access to 14 new lots. The second Town road is 1295 feet long and terminates in a permanent cul-de-sac, providing direct access to 10 lots. Three private roads provide access to 6 lots, 6 lots and 3 lots, respectfully. All lots will be served by individual septic systems and wells. A parcel of land is being gifted to the Town near the intersection of the two Town roads for municipal purposes. This parcel will be approved for the installation of a 4-bedroom septic system and well and, if not needed for municipal purposes, could be utilized by the Town as a building lot. Open Space is provided as a buffer between this site and adjacent residential development, between groups of lots, to protect sensitive environmental areas and to provide areas for active recreation.

The location of existing stone walls and trees in excess of 24 inches in diameter has been taken from an extensive field survey of the site. The property has been logged and there are only a few trees still in existence over 24 inches in diameter. Most of these trees lie in or immediately adjacent to the edges of the wetlands buffer, along existing property lines or along the project frontage and fall within the Open Space and Vegetation Preservation Easement. No new street trees will be planted in conjunction with these lots because of the significant number of trees being preserved by the Open Space and Vegetation Preservation Easement and on individual lots.



VI. Approved Subdivision Plan – See Granby Land Records for complete plan set

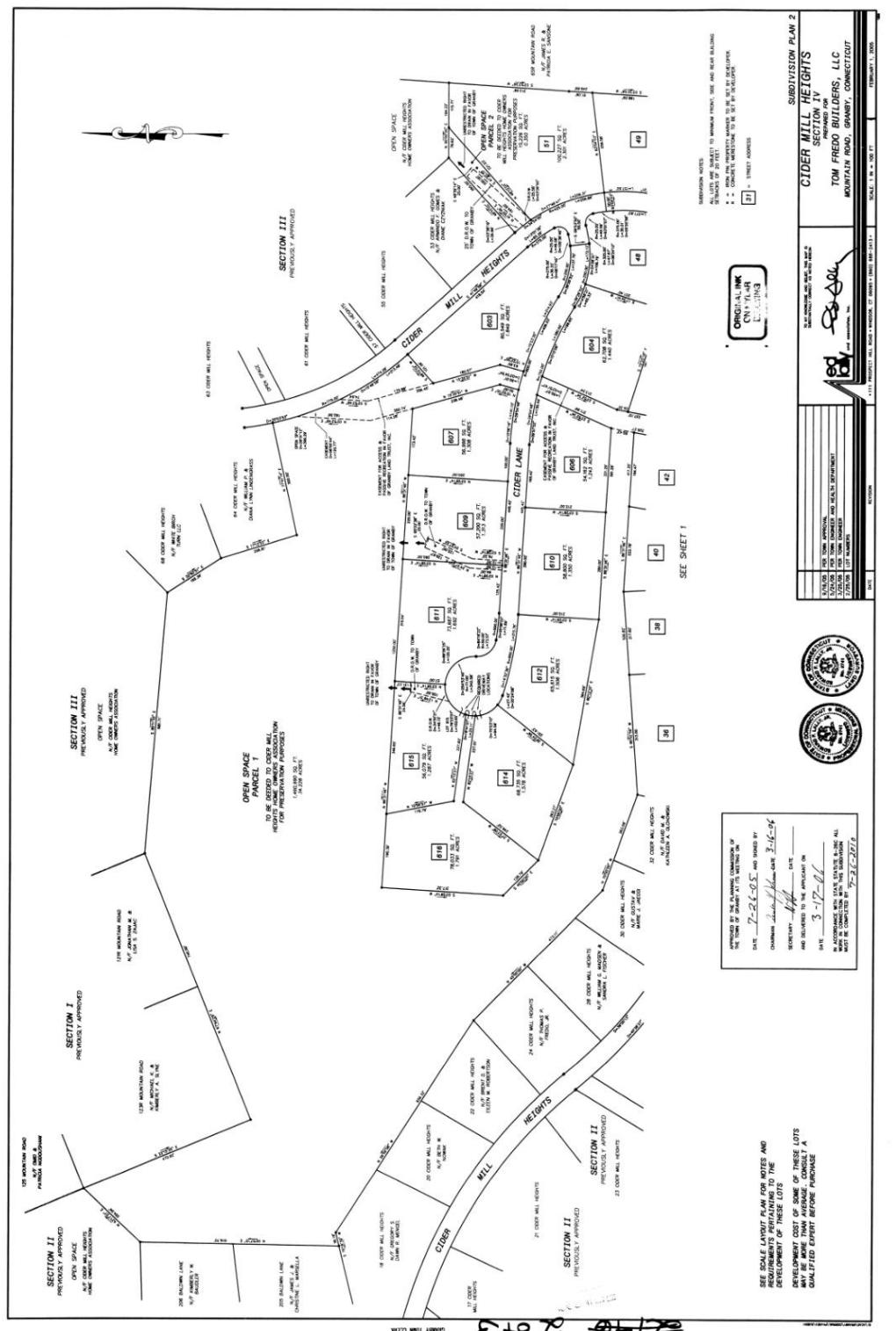
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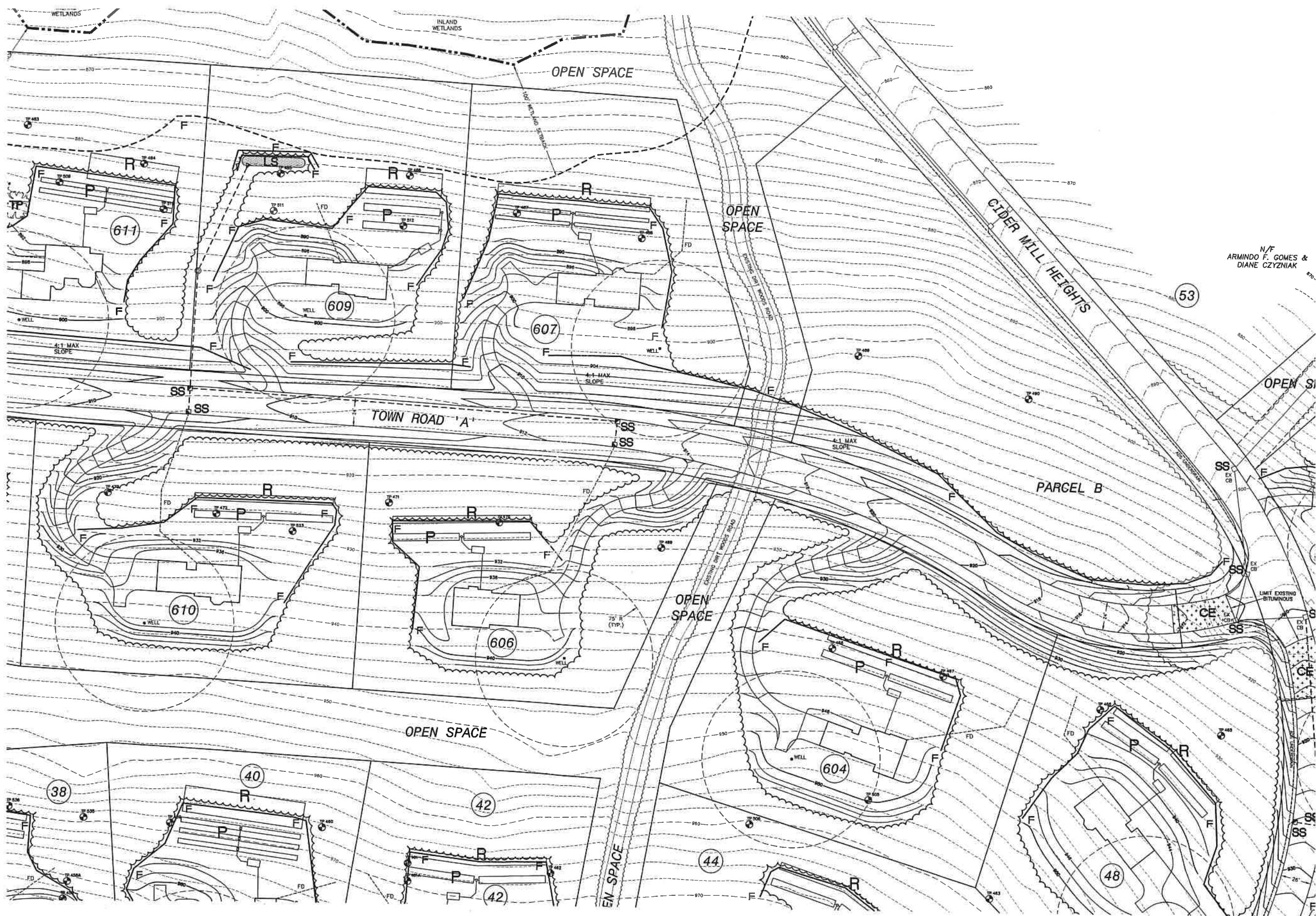
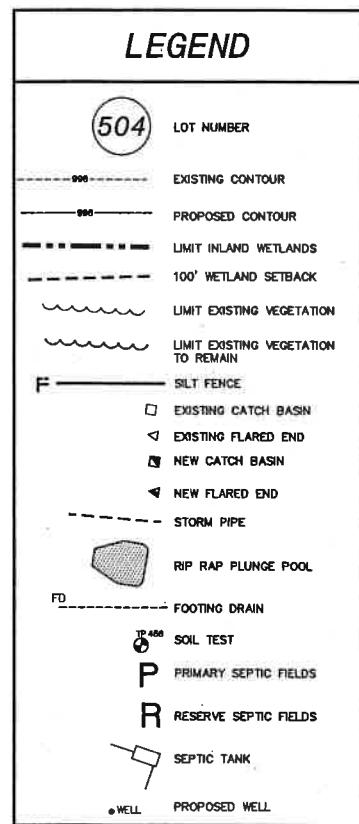
SAFED PRODUCTS • NEW HOPE, MINNESOTA

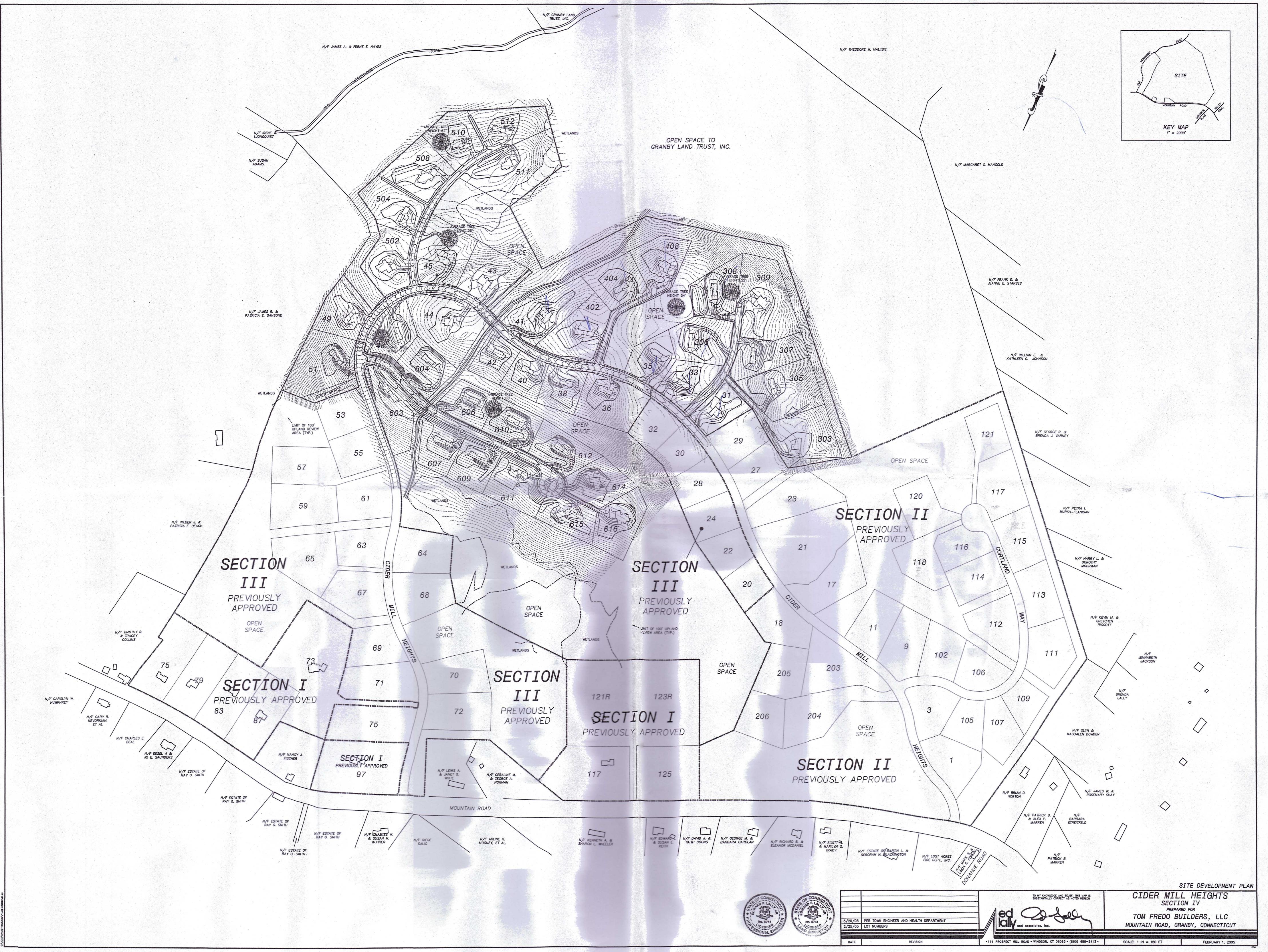
DRAWING NUMBER
V-55
SAFCO PRODUCTS • NEW HAVEN, CONNECTICUT

DRAWING NUMBER



VII. Preliminary Layout Plan and Test Pit Location





VIII. Property Card

603 CIDER LN

Location 603 CIDER LN

Mblu D-30/ 23/ 603/ /

Acct# 16200603

Owner GRANBY TOWN OF

Assessment \$38,080

Appraisal \$54,400

PID 102860

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2022	\$0	\$54,400	\$54,400
Assessment			
Valuation Year	Improvements	Land	Total
2022	\$0	\$38,080	\$38,080

Owner of Record

Owner GRANBY TOWN OF

Sale Price \$0

Co-Owner

Certificate

Address 15 NORTH GRANBY RD
GRANBY, CT 06035

Book & Page 0352/0566

Sale Date 05/13/2008

Instrument

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
GRANBY TOWN OF	\$0		0352/0566		05/13/2008
TFHB LLC	\$1,000,000		0251/0050	6	06/20/2001

Building Information

Building 1 : Section 1

Year Built:

Living Area: 0

Replacement Cost: \$0

Building Percent Good:

Replacement Cost

Less Depreciation: \$0

Building Attributes	
Field	Description
Style:	Vacant Land
Model	
Grade:	
Stories:	
Occupancy	
Exterior Wall 1	
Exterior Wall 2	
Roof Structure:	
Roof Cover	
Interior Wall 1	
Interior Wall 2	
Interior Flr 1	
Interior Flr 2	
Heat Fuel	
Heat Type:	
AC Type:	
Total Bedrooms:	
Total Bthrms:	
Total Half Baths:	
Total Xtra Fixtrs:	
Total Rooms:	
Bath Style:	
Kitchen Style:	
Extra Kitchens	
Solar Panels	
Num Park	
Fireplaces	
Fndtn Cndtn	
Basement	

Extra Features

Extra Features		<u>Legend</u>
No Data for Extra Features		

Land

Land Use

Use Code 903V

Land Line Valuation

Size (Acres) 1.85

Building Photo



(<https://images.vgsi.com/photos2/GranbyCTPhotos//default.jpg>)

Building Layout

(<ParcelSketch.ashx?pid=102860&bid=102814>)

Building Sub-Areas (sq ft)	<u>Legend</u>
No Data for Building Sub-Areas	

Description MUNICIPAL M00

Zone FRD

Neighborhood 425

Alt Land Appr No

Category

Frontage

Depth

Assessed Value \$38,080

Appraised Value \$54,400

Outbuildings

Outbuildings	<u>Legend</u>
No Data for Outbuildings	

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2024	\$0	\$54,400	\$54,400
2023	\$0	\$54,400	\$54,400
2022	\$0	\$54,400	\$54,400

Assessment			
Valuation Year	Improvements	Land	Total
2024	\$0	\$38,080	\$38,080
2023	\$0	\$38,080	\$38,080
2022	\$0	\$38,080	\$38,080